

Sample Property Snagging Report in Dubai – Professional Inspection PDF

This PDF is issued by Dubai Property Snagging, a professional property inspection company in Dubai, providing snagging reports, pre-handover inspections, and defect reports for villas and apartments across the UAE.

Client

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Inspector

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INTRODUCTION

Purpose

The purpose of this condition inspection is to identify and document any defects or issues observed within the property. This inspection involves a thorough visual assessment, evaluating the quality of workmanship and ensuring compliance with construction standards. The findings are compiled into a detailed report that outlines the condition of various components and highlights any required maintenance or rectifications. A property snagging inspection provides valuable insights to support effective property maintenance and management.

Description

This report presents the results of a visual inspection conducted to assess the quality of finishes, installations, and overall workmanship within the property. It focuses on interior areas, identifying any deviations from construction standards. If any areas were not inspected due to accessibility limitations, they will be noted in the report; however, we cannot confirm the presence or absence of defects in those areas.

Limitations

This inspection is limited to visible and accessible parts of the property. No paneling, furniture, or floor coverings have been removed during the inspection. External features have been assessed only from available ground-level viewpoints. As a result, unexposed or inaccessible areas are beyond the scope of this report, and their condition cannot be verified.

✓ HANDOVER CLEARANCE AND SNAG RESOLUTION

After conducting the snagging inspection, we confirm that no major issues have been identified that would prevent the handover process. The minor snags noted are not critical and can be resolved through mutual understanding between the developer and the owner without causing any delay. Therefore, you are advised to proceed with the handover as scheduled. The outstanding snags can be addressed post-handover in coordination with the developer, ensuring a smooth transition and timely possession of the property.

SUMMARY

183

REPAIR NEEDED

44

IMMEDIATE ACTION
NEEDED

- ⊖ 2.1.1 Outdoor Area - Car porch: Drainage Clogging and cover Sealant Issue
- ⊖ 2.1.2 Outdoor Area - Car porch: Paint Finishing issues
- ⊖ 2.1.3 Outdoor Area - Car porch: Roof level issue
- ⚠ 2.1.4 Outdoor Area - Car porch: Tiles crack
- ⊖ 2.3.1 Outdoor Area - Lighting Fixtures, Switches & Receptacles: Cover Plates Damaged
- ⊖ 2.3.2 Outdoor Area - Lighting Fixtures, Switches & Receptacles: No Socket Cover opening
- ⊖ 2.4.1 Outdoor Area - Pump Room: Water tank cover sealing issue
- ⊖ 2.6.1 Outdoor Area - Patio: Tile Grouting and Finishing issue
- ⚠ 2.7.1 Outdoor Area - Backyard: Tile finishing issues
- ⊖ 2.7.2 Outdoor Area - Backyard: Boundary Finishing issue
- ⚠ 2.7.3 Outdoor Area - Backyard: Irrigation Problem
- ⊖ 2.8.1 Outdoor Area - Backyard 3rd floor : Boundary Finishing issue
- ⚠ 2.8.2 Outdoor Area - Backyard 3rd floor : Railing Alignment
- ⚠ 2.8.3 Outdoor Area - Backyard 3rd floor : Tiles crack
- ⊖ 2.9.1 Outdoor Area - Rooftop: Waterproofing Issue
- ⊖ 2.9.2 Outdoor Area - Rooftop: Solar Panel and AC Outdoor Service required
- ⊖ 2.9.3 Outdoor Area - Rooftop: Uneven surface
- ⚠ 2.9.4 Outdoor Area - Rooftop: Stability Issue
- ⚠ 2.9.5 Outdoor Area - Rooftop: Pending work Electrical
- ⊖ 2.9.6 Outdoor Area - Rooftop: Railing base leveling Issue
- ⊖ 2.9.7 Outdoor Area - Rooftop: Rusted railing
- ⊖ 2.9.8 Outdoor Area - Rooftop: Cover required
- ⊖ 2.9.9 Outdoor Area - Rooftop: Stairs Fitting and finishing issues
- ⚠ 2.9.10 Outdoor Area - Rooftop: Marble missing
- ⊖ 2.9.11 Outdoor Area - Rooftop: Need foam finishing
- ⊖ 2.11.1 Outdoor Area - Outer walls : Boundary Finishing issue
- ⊖ 2.12.1 Outdoor Area - Swimming pool area : Railing sealant, tile chipping and grouting issues

- ⊖ 2.12.2 Outdoor Area - Swimming pool area : Wall finishing issue
- ⊖ 2.12.3 Outdoor Area - Swimming pool area : Drainage clogging
- ⊖ 3.1.1 Entrance Area - Door : Chipping, Paint, and Scratches Issue
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- ⊖ 4.3.1 Corridor - Ceiling: Paint Touch-Up and Finishing issue
- ⊖ 4.4.1 Corridor - Walls: Paint Touch-Up and Finishing issue
- ⊖ 4.5.1 Corridor - Floor : Uneven Tile Level issue
- ⊖ 4.5.2 Corridor - Floor : Chipping issue
- ⊖ 5.3.1 Living Room - Ceiling: Paint Touch-Up and Finishing issue
- ⊖ 5.4.1 Living Room - Walls: Paint Touch-Up and Finishing issue
- ⊖ 5.5.1 Living Room - Floor : Hollow Tiles
- ⊖ 5.5.2 Living Room - Floor : Grout Missing
- ⊖ 5.5.3 Living Room - Floor : Staining issue
- ⊖ 5.8.1 Living Room - Window : Deep Cleaning Required
- ⚠ 5.8.2 Living Room - Window : Frame Damage issue
- ⊖ 5.8.3 Living Room - Window : Powder Coating Issues
- ⊖ 6.2.1 Powder Bathroom - Door : Paint Finishing Issue
- ⊖ 6.3.1 Powder Bathroom - Ceiling: Paint Touch-Up and Finishing issue
- ⊖ 6.3.2 Powder Bathroom - Ceiling: Gaps issues and mirror hanger fitting
- ⊖ 6.4.1 Powder Bathroom - Walls: Grout Missing
- ⊖ 6.5.1 Powder Bathroom - Floor : Uneven Tile Level issue
- ⊖ 6.5.2 Powder Bathroom - Floor : Grout Missing
- ⊖ 6.6.1 Powder Bathroom - Lighting Fixtures, Switches & Receptacles: Cleaning required
- ⊖ 6.14.1 Powder Bathroom - Vanity : Poor Finishing
- ⚠ 6.14.2 Powder Bathroom - Vanity : Silicone filling required
- ⊖ 7.2.1 Guest Bedroom - Door : Paint Finishing Issue
- ⊖ 7.3.1 Guest Bedroom - Ceiling: Paint Touch-Up and Finishing issue
- ⊖ 7.4.1 Guest Bedroom - Walls: Paint Touch-Up and Finishing issue
- ⊖ 7.5.1 Guest Bedroom - Floor : Hollow Tiles
- ⊖ 7.7.1 Guest Bedroom - Cabinets : Chipping Issue
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- ⚠ 9.5.1 Stair Area - Steps: Chipping issue
- ⊖ 9.5.2 Stair Area - Steps: Grout Missing

- ⊖ 9.5.3 Stair Area - Steps: Staining issue
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- ⚠ 9.7.2 Stair Area - Railing: Alignment issue
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- ⊖ 10.4.1 Living Room FF - Walls: Paint Touch-Up and Finishing issue
- ⊖ 10.4.2 Living Room FF - Walls: AC grill cleaning required
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- ⊖ 10.5.2 Living Room FF - Floor : Staining issue
- ⚠ 10.5.3 Living Room FF - Floor : Skirting Gap Issues
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- ⊖ 10.9.1 Living Room FF - Db board: Painting issues
- ⊖ 10.9.2 Living Room FF - Db board: Closing issues
- ⊖ 11.2.1 Kitchen FF - Ceiling: Paint Touch-Up and Finishing issue
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- ⊖ 11.4.4 Kitchen FF - Floor : Grouting Color Variation
- ⚠ 11.5.1 Kitchen FF - Lighting Fixtures, Switches & Receptacles: Connection Issue
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- ⊖ 11.6.1 Kitchen FF - Cabinets : Chipping Issue
- ⚠ 11.6.2 Kitchen FF - Cabinets : Hinges Screw Missing
- ⊖ 11.6.3 Kitchen FF - Cabinets : Cleaning required
- ⊖ 11.6.4 Kitchen FF - Cabinets : Hinges alignment issues
- ⊖ 11.6.5 Kitchen FF - Cabinets : Stopper missing
- ⊖ 11.8.1 Kitchen FF - Window : Powder Coating Issues
- ⊖ 11.8.2 Kitchen FF - Window : Replace the railing with door
- ⊖ 11.12.1 Kitchen FF - Counter top : Poor Joint Finishing issue
- ⊖ 11.13.1 Kitchen FF - Refrigerator: Cleaning Required
- ⚠ 11.15.1 Kitchen FF - Burner : Broken
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- ⊖ 12.3.1 Master Bedroom - Ceiling: Paint Touch-Up and Finishing issue
- ⊖ 12.4.1 Master Bedroom - Walls: Paint Touch-Up and Finishing issue
- ⊖ 12.5.1 Master Bedroom - Floor : Uneven Tile Level issue
- ⊖ 12.5.2 Master Bedroom - Floor : Grout Missing
- ⊖ 12.5.3 Master Bedroom - Floor : Grouting Color Variation

- 🔴 12.6.1 Master Bedroom - Lighting Fixtures, Switches & Receptacles: Paint cleaning required
- 🔴 12.7.1 Master Bedroom - Cabinets : Chipping Issue
- 🔴 12.7.2 Master Bedroom - Cabinets : Hanger missing
- 🔴 12.7.3 Master Bedroom - Cabinets : Filling required
- 🔴 12.7.4 Master Bedroom - Cabinets : Need to be more tight hinges
- 🔴 12.8.1 Master Bedroom - Window : Powder Coating Issues
- 🔴 13.2.1 Master Bathroom - Door : Paint Finishing Issue
- 🔴 13.2.2 Master Bathroom - Door : Rubber Seal Issue
- 🔴 13.2.3 Master Bathroom - Door : Lock issue
- 🔴 13.3.1 Master Bathroom - Ceiling: Paint Touch-Up and Finishing issue
- 🔴 13.4.1 Master Bathroom - Walls: Uneven Tile Level issue
- 🔴 13.4.2 Master Bathroom - Walls: Tile Cracks
- 🔴 13.5.1 Master Bathroom - Floor : Uneven Tile Level issue
- 🔴 13.6.1 Master Bathroom - Lighting Fixtures, Switches & Receptacles: Connection Issue
- 🔴 13.7.1 Master Bathroom - Cabinets : Chipping Issue
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- 🔴 13.14.3 Master Bathroom - Vanity : Alignment issue
- 🔴 13.14.4 Master Bathroom - Vanity : Not working light
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- 🔴 14.2.3 Bedroom 2 - Door : Rubber Seal Issue
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- 🔴 14.8.3 Bedroom 2 - Window : Deep Cleaning Required
- 🔴 14.9.1 Bedroom 2 - Ac thermostat iss: Touch sensor is loose
- 🔴 15.2.1 Bathroom 2 - Door : Paint Finishing Issue

- ⊖ 15.2.2 Bathroom 2 - Door : Hinges and Excess Lubrication Issue
- ⊖ 15.2.3 Bathroom 2 - Door : Rubber Seal Issue
- ⊖ 15.3.1 Bathroom 2 - Ceiling: Paint Touch-Up and Finishing issue
- ⊖ 15.4.1 Bathroom 2 - Walls: Paint Touch-Up and Finishing issue
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- ⊖ 15.4.3 Bathroom 2 - Walls: Grout Missing
- ⊖ 15.4.4 Bathroom 2 - Walls: Stain issues
- ⊖ 15.5.1 Bathroom 2 - Floor : Staining issue
- ⊖ 15.5.2 Bathroom 2 - Floor : Grouting Color Variation
- ⚠ 15.7.1 Bathroom 2 - Cabinets : Hinges Screw Missing
- ⊖ 15.7.2 Bathroom 2 - Cabinets : Cleaning and finishing issues
- ⊖ 15.13.1 Bathroom 2 - Glass Separation: Extra Gap issue
- ⊖ 15.14.1 Bathroom 2 - Vanity : Poor Finishing
- ⊖ 16.2.1 Bedroom 3 - Door : Paint Finishing Issue
- ⊖ 16.2.2 Bedroom 3 - Door : Hinges and Excess Lubrication Issue
- ⚠ 16.2.3 Bedroom 3 - Door : Rubber Seal Issue
- ⚠ 16.2.4 Bedroom 3 - Door : Hinges Screw Missing
- ⊖ 16.3.1 Bedroom 3 - Ceiling: Paint Touch-Up and Finishing issue
- ⚠ 16.3.2 Bedroom 3 - Ceiling: Light level issue
- ⊖ 16.4.1 Bedroom 3 - Walls: Paint Touch-Up and Finishing issue
- ⊖ 16.5.1 Bedroom 3 - Floor : Staining issue
- ⚠ 16.5.2 Bedroom 3 - Floor : Skirting Gap Issues
- ⊖ 16.5.3 Bedroom 3 - Floor : Grouting Color Variation
- ⚠ 16.7.1 Bedroom 3 - Cabinets : Hinges Screw Missing
- ⊖ 16.7.2 Bedroom 3 - Cabinets : Paint finishing Issues
- ⊖ 16.7.3 Bedroom 3 - Cabinets : Cleaning and silicon finishing required
- ⚠ 16.7.4 Bedroom 3 - Cabinets : Stopper missing
- ⊖ 16.8.1 Bedroom 3 - Window : Rubber Sealant issue
- ⊖ 16.8.2 Bedroom 3 - Window : Deep Cleaning Required
- ⊖ 17.2.1 Bathroom 3 - Door : Paint Finishing Issue
- ⚠ 17.2.2 Bathroom 3 - Door : Chipping Issue
- ⊖ 17.2.3 Bathroom 3 - Door : Frame Gap issue
- ⚠ 17.2.4 Bathroom 3 - Door : Hinges and Excess Lubrication Issue
- ⊖ 17.3.1 Bathroom 3 - Ceiling: Paint Touch-Up and Finishing issue
- ⊖ 17.4.1 Bathroom 3 - Walls: Grout Missing
- ⊖ 17.4.2 Bathroom 3 - Walls: Stain issues
- ⊖ 17.5.1 Bathroom 3 - Floor : Staining issue
- ⊖ 17.5.2 Bathroom 3 - Floor : Grouting Color Variation
- ⚠ 17.7.1 Bathroom 3 - Cabinets : Hinges Screw Missing
- ⊖ 17.7.2 Bathroom 3 - Cabinets : Cleaning and finishing issues
- ⊖ 17.13.1 Bathroom 3 - Glass Separation: Cleaning required

- ⊖ 17.14.1 Bathroom 3 - Vanity : Water Stains
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- ⚠ 19.2.4 Bathroom 3rd Floor - Door : Rubber Seal Issue
- ⊖ 19.3.1 Bathroom 3rd Floor - Ceiling: Paint Touch-Up and Finishing issue
- ⊖ 19.3.2 Bathroom 3rd Floor - Ceiling: Water Stains issue
- ⊖ 19.5.1 Bathroom 3rd Floor - Floor : Uneven Tile Level issue
- ⚠ 19.5.2 Bathroom 3rd Floor - Floor : Tile Cracks
- ⊖ 19.5.3 Bathroom 3rd Floor - Floor : Chipping issue
- ⊖ 19.7.1 Bathroom 3rd Floor - Cabinets : Chipping Issue
- ⊖ 19.8.1 Bathroom 3rd Floor - Over the Ceiling: Block work not complete
- ⊖ 19.12.1 Bathroom 3rd Floor - Window : Deep Cleaning Required
- ⊖ 19.14.1 Bathroom 3rd Floor - Vanity : Poor Finishing
- ⚠ 19.14.2 Bathroom 3rd Floor - Vanity : Fitting pending
- ⚠ 19.15.1 Bathroom 3rd Floor - Drain issue: Clogging Drainage issues
- ⊖ 20.2.1 Bedroom 3rd Floor - Door : Paint Finishing Issue
- ⊖ 20.3.1 Bedroom 3rd Floor - Ceiling: Paint Touch-Up and Finishing issue
- ⊖ 20.3.2 Bedroom 3rd Floor - Ceiling: Gaps at grill
- ⊖ 20.4.1 Bedroom 3rd Floor - Walls: Paint Touch-Up and Finishing issue
- ⚠ 20.4.2 Bedroom 3rd Floor - Walls: Crack issue
- ⊖ 20.5.1 Bedroom 3rd Floor - Floor : Grout Missing
- ⊖ 20.5.2 Bedroom 3rd Floor - Floor : Staining issue
- ⚠ 20.6.1 Bedroom 3rd Floor - Lighting Fixtures, Switches & Receptacles: Lights Malfunction
- ⊖ 20.7.1 Bedroom 3rd Floor - Cabinets : Chipping Issue
- ⊖ 20.8.1 Bedroom 3rd Floor - Window : Powder Coating Issues
- ⚠ 21.1.1 HVAC - Air Conditioner: Improper Cooling
- ⊖ 21.3.1 HVAC - Over the Ceiling: Improper Insulation
- ⊖ 21.3.2 HVAC - Over the Ceiling: Wire Management Issues
- ⊖ 22.1.1 Lift - Finishing issue : Scratches, Finishing and lighting cover fitting issue

1: INSPECTION DETAILS

Information

General: In Attendance Home Owner	General: Inspection Type Handover	General: Occupancy Vacant
General: Weather Conditions Clear		

General: Inspection Overview

Our team of qualified civil and MEP engineers conducted a comprehensive inspection of the property using a structured methodology supported by advanced software and specialized tools. Equipment such as thermal imaging cameras, moisture meters, and socket testers were utilized to accurately identify hidden defects and assess performance.

The inspection covered all major systems and components, including civil, electrical, plumbing, HVAC, and kitchen installations. This report provides a clear summary of findings, supported by photographs and videos, to assist in making informed decisions regarding maintenance, corrective works, and investment planning.

Due to the extensive scope, only items marked as O = Observation are included in this summary. Items marked NI = Not Inspected indicate limitations caused by restricted access or unavailable utilities (e.g., water or electricity supply).

General: Asset Categories

- Civil Works – Permanent structural and finishing elements such as tiling, wall modifications, bathroom renovations, and kitchen platforms.
- Electrical Systems – Devices, wiring, sockets, and installations related to power distribution and usage.
- Fire Alarm System – Smoke detectors, heat detectors, manual call points, and water flow alarms.
- HVAC Systems – Heating, ventilation, and air conditioning equipment including ductwork, thermostats, and fan coil units.
- Kitchen Equipment – Appliances and fittings for food storage, preparation, and cooking.
- Landscaping – Outdoor enhancements including plant selection, terrain modifications, and structural features.
- Plumbing Systems – Water supply and drainage installations including sanitary fixtures and connections.
- Pool Systems – Filtration, chemical treatment, and circulation components ensuring safe pool operation.

General: Item Ratings

- **IN = Inspected** – System/component inspected and found in acceptable condition.
- **NI = Not Inspected** – System/component could not be fully assessed due to limitations.
- **O = Observation** – Action recommended.

General: Observations Ratings

- **Orange** – Repair or replacement required.
- **Red** – Immediate correction required due to potential health/safety hazard.

General: Inspection Summary

Outdoor Level / Pool Area / Facade

Windows, Doors & Glazing

1.
Window Sealant Defects: Window sealant is peeling with visible gaps and breaks; sealant to be removed and reapplied uniformly to ensure proper sealing.
2.
Damaged Window Covers & Dirty Frames: Window covers are damaged; frames are contaminated with plaster/paint, and scratches are observed on glass surfaces.
3.
Uneven Glass Balcony Railings: Glass balcony railings are unevenly installed; alignment and corner joints are misaligned.
4.
Damaged Metal Beam on Bracket: Metal beam on the bracket is damaged and contaminated with sealant; cleaning or replacement required.
5.
Contaminated Window Sills: Window sills are heavily contaminated, preventing proper assessment of surface quality.
6.
Dirty & Scratched Glass Panels: Glass panels are extremely dirty with visible rust stains and scratches.
7.
Scratched & Rusted Window Frames: Window frames are scratched, heavily soiled, and show signs of rust.
8.
Damaged Sliding Door Inserts: Metal inserts in sliding doors are damaged with visible manufacturing defects.
9.
Poor Internal Sealant Application: Internal sealant and putty are applied unevenly; one window is recessed and tilted inward.
10.
Cracks at Window Edges: Cracks observed along window edges with poor-quality seals and uneven sealant application.
11.
Damaged Door Handles: Door handles on windows are cracked and scratched.

Pool Area / Roof / External Works

12.
Uneven Cement & Sealant Application: Cement, putty, and sealant at roof glass partitions are applied unevenly.
13.
Uneven External Wall Finishes: Outdoor wall finishes are visually uneven and dirty, preventing quality assessment.
14.
Uneven Ventilation Boxes: Ventilation boxes are misaligned with careless putty application.
15.
Facade Finish Defects: Facade walls are uneven, dirty, and partially unpainted.
16.
Damaged Exterior Window Sills: Exterior window sills show chips, paint runs, holes, rust, stains, and inconsistent paint tones.
17.
Rusty Planter Fences: Planter fences are rusty, scratched, and dirty; wall corners are damaged throughout the facade.
- 18.

Repainting Required – Walls: All external walls require full repainting.

19.

Dirty Ceilings: Ceilings on all levels are dirty; repainting and whitewash required.

20.

Detached Staircase Fixing: Staircase fixing is detached and requires secure refixing.

21.

Dirty Outdoor Lamps: Outdoor lamps are dirty and stained with paint; cleaning and repainting required.

22.

Blocked Drainage Outlets: Drainage outlets are filled with construction debris and require cleaning.

23.

Broken Terrace Slab: Floor slab on the terrace is broken.

24.

Dirty Area Under Artificial Grass: Areas beneath artificial grass are contaminated with paint and dirt.

25.

Faulty Terrace Sockets: Terrace electrical sockets do not close properly.

26.

Incorrect Drain Levels: Drainage levels are higher than floor level, causing water accumulation.

27.

Unstable Roof Partition: Roof partition is improperly fixed and unstable.

28.

Inaccessible Electrical Sockets: Some electrical sockets cannot be opened.

29.

Exposed Cables – Safety Risk: Exposed electrical cables observed; electrical works incomplete, posing a high safety risk.

30.

Damaged Doors: All doors are scratched, edges damaged, and color tones inconsistent.

Third Floor

31.

Chipped Toilet Tile: Floor tile in toilet is chipped.

32.

Uneven Bathroom Floor Levels: Bathroom floor levels are uneven, causing water accumulation under the sink.

33.

Water Stagnation in Shower: Improper floor slope and undersized drain causing water stagnation in shower area.

34.

Missing Hatch Blocks: Blocks are missing inside the access hatch.

35.

Misaligned Door Architraves: Architraves have large gaps and do not align with tiles and doors.

36.

Wall Cracks: Cracks observed on walls.

37.

Damaged Door Architraves: Door architraves are scratched and damaged.

38.

Missing Door Closer & Seal: Door lacks closer and seal; door slams heavily and is unstable.

39.

Non-Functional Lighting: Lighting is not functioning.

40.

Broken Shower Shelf: Shower shelf is broken.

41.

Improper Sink Sealing: Sink and countertop are not properly sealed with silicone.

42.

Damaged Bathroom Shelf: Bathroom shelf requires full replacement.

43.

Broken Vanity Cabinet: Vanity cabinet under sink is broken and requires replacement.

44.

Scratched Walk-In Closet Surfaces: Walk-in closet surfaces are heavily scratched.

45.

Exposed Screws & Shelf Defects: Exposed screws visible; shelves show defects.

46.

Faulty Cabinet Soft Closers: Cabinet soft closers are not functioning correctly.

47.

Holes in Partition Walls: Holes observed in inter-door partition walls.

48.

AC Performance Issue: AC maximum temperature reaches only 15.8°C instead of specified 14°C.

49.

Floor Condition Unassessable: Floor condition cannot be assessed due to paint stains.

50.

Unstable Handrail: Handrail seal peeling and handrail is unstable.

51.

Poor Pool Tile Grout: Pool area tile grout is of poor quality.

52.

Crack Inside Cabinet: Crack observed inside cabinet near pool.

53.

Damaged Column Tiles: Column tiles near pool are damaged.

54.

Pool Testing Not Possible: Pool functions not tested as pool was empty; drain not functioning, water stagnant.

55.

Uneven Tile Joints: Tile joints are uneven, chipped, and paint color varies.

56.

Paint-Stained Wall Lights: Wall light fixtures are stained with paint.

57.

Damaged Staircase: Entire staircase has multiple chips.

58.

Scratched Handrails: Handrails are scratched.

59.

Dirty Staircase Glass Panels: Glass panels around staircase are covered with glue and heavy dirt.

60.

Missing Floor Grout: Floor tile grout missing in several areas.

Second Floor

61.
Damaged Bathroom Doors: Bathroom doors are scratched, uneven, and malfunctioning; sensors damaged.
62.
Non-Functional Mirror Light: Bathroom mirror lighting not working.
63.
Large Wardrobe Gaps: Excessive gaps observed inside walk-in wardrobes.
64.
Incomplete Wardrobes: Wardrobes and built-in cabinets are incomplete.
65.
Faulty Drainage: Drainage not functioning properly in sink, toilet, and shower.
66.
Misaligned Bathroom Corners: Bathroom corners not aligned with tile levels.
67.
Shower Doors Not Closing: Shower doors do not close completely.
68.
Missing Hanging Rods: Hanging rods missing in wardrobes.
69.
Damaged Wardrobe Surfaces: Chips and surface damage observed on wardrobes.
70.
Uncovered Screws & Faulty Closers: Screws not covered; soft closers not functioning.
71.
Toilet Flushing Issue: Toilet water does not stop flushing on first attempt.
72.
Glass Units Require Rectification: All glass units require frame repainting, seal replacement, cleaning, and polishing.
73.
Damaged Canopy: House canopy is dirty, chipped, uneven, and prone to water accumulation.
74.
High Toilet Water Level: Water level rises excessively during flushing.
75.
Non-Functional Feature Lighting: Lighting inside glass feature not working.
76.
Broken Shower Threshold: Shower threshold is broken and chipped, posing injury risk.
77.
Damaged Door Hinges: Hinges covered with paint/sealant; some damaged and screws loose.
78.
Uneven Wall Tile Levels: Wall tiles are uneven.
79.
Incomplete Shower Grouting: Grouting incomplete in shower corners.
80.
Dirty & Scratched Shower Glass: Shower glass stained with paint, dirty, and scratched.

81.
Missing Sealant Under Sink: No sealant applied under sink or inside cabinet.
82.
Faulty AC Remotes: Wall-mounted AC remotes operate intermittently.
83.
Incomplete Electrical Wiring: Exposed electrical cables visible throughout the property.
84.
Damaged Door Seals: Doors scratched; seals peeling; keys not provided for testing.
85.
Loose Mirror Holder: Mirror holder not fixed and not functioning.
86.
Protruding Screws in Shower: Screws protruding from shower walls.
87.
Poor Cabinet Fixing: Cabinet under sink poorly fixed.
88.
Missing Door Screws: Screws missing in doors.

89.**Ground Floor**

90.
Uneven Recessed Lights: Recessed ceiling lights installed unevenly.
91.
Severely Scratched Staircase Glass: Deep scratches on staircase glass structure.
92.
Mold Due to Drainage Issue: Poor toilet drainage causing mold and stains on ceiling.
93.
Dirty AC Grilles: AC grilles require thorough cleaning.
94.
DB Door Issue: Electrical distribution panel door does not close; screws missing.
95.
Kitchen Power Failure: Electrical power not functioning in kitchen; hood/extractor broken.
96.
Damaged Kitchen Surfaces: Scratches present; excess sealant visible.
97.
Uneven Floor Tiles: Air pockets under tiles; floor levels uneven.
98.
Broken Cooktop: Cooktop is broken.
99.
Uneven Drain Levels: Drain levels uneven with paint residue present.
100.
Poor Cabinet Finishing: Uneven putty and poor finishing observed on kitchen cabinets.

2: OUTDOOR AREA

		IN	NI	NP	D
2.1	Car porch	X			
2.2	Distribution Board (DB)	X			
2.3	Lighting Fixtures, Switches & Receptacles	X			
2.4	Pump Room	X			
2.5	Main Door			X	
2.6	Patio	X			
2.7	Backyard	X			
2.8	Backyard 3rd floor	X			
2.9	Rooftop	X			
2.10	Insect Infestation				
2.11	Outer walls	X			
2.12	Swimming pool area	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Observations

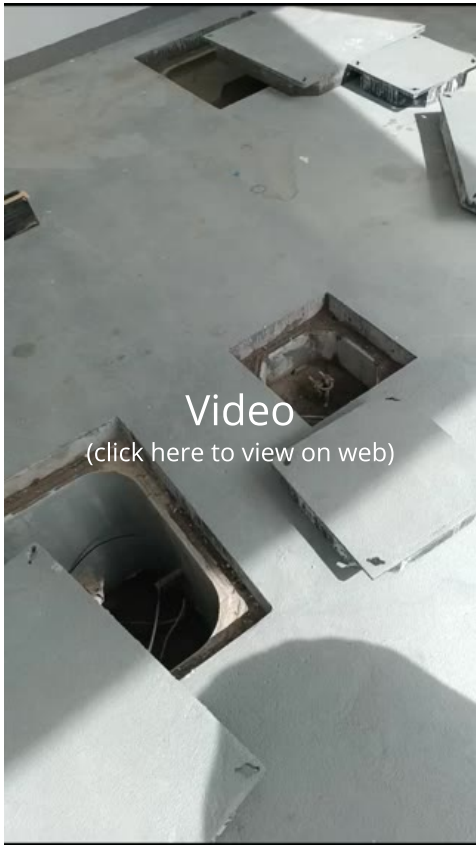
2.1.1 Car porch

Repair Needed

DRAINAGE CLOGGING AND COVER SEALANT ISSUE

Drainage is clogged and cover sealant is defective; drainage to be cleaned and proper sealant to be applied to ensure leak-free operation and neat finish.



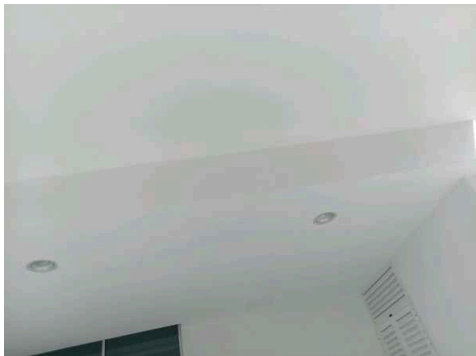


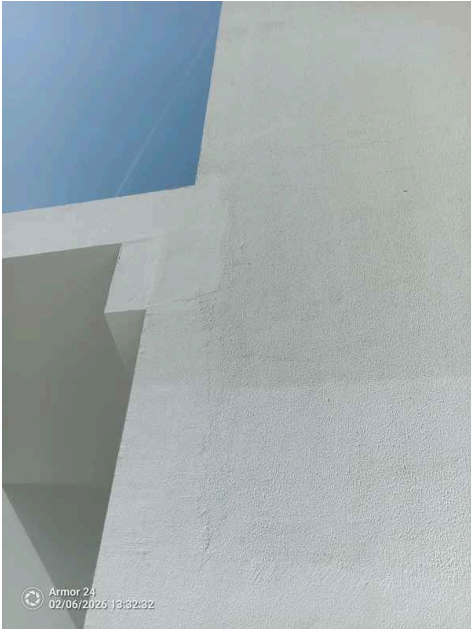
2.1.2 Car porch

PAINT FINISHING ISSUES

 Repair Needed

The paint finish was observed to be inconsistent, with visible brush marks, patchy areas, and uneven coverage in multiple locations. These defects affect the overall aesthetic quality and may indicate inadequate surface preparation or poor application. Repainting with proper surface treatment is recommended to achieve a uniform and durable finish.





2.1.3 Car porch

ROOF LEVEL ISSUE

Roof level is uneven and not properly aligned; level correction to be carried out to ensure proper drainage and compliance with approved specifications.

 Repair Needed



2.1.4 Car porch

TILES CRACK

Cracks are visible on the car porch tiles, which may affect appearance and safety. Repair or replacement of the damaged tiles is required to restore a smooth and durable surface.

 Immediate Action Needed

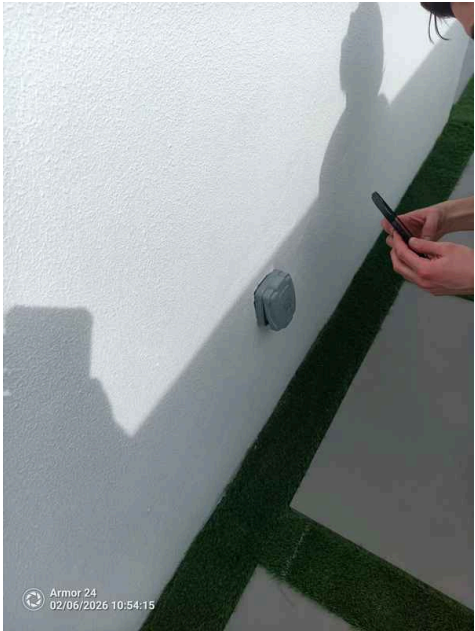


2.3.1 Lighting Fixtures, Switches & Receptacles

COVER PLATES DAMAGED

receptacles have a damaged cover plate its not closing properly.
Recommend replacement.

 Repair Needed



2.3.2 Lighting Fixtures, Switches & Receptacles

NO SOCKET COVER OPENING

Socket cover is not opening properly; cover to be adjusted or replaced
to allow safe access and proper operation.

 Repair Needed



2.4.1 Pump Room

WATER TANK COVER SEALING ISSUE

Repair Needed

Water tank cover sealing is defective or incomplete; proper sealing to be provided to prevent water ingress, contamination, and leakage.







2.6.1 Patio

TILE GROUTING AND FINISHING ISSUE

 Repair Needed

Loose, missing, or discolored grout can affect both aesthetics and durability, allowing moisture to seep below the surface.



2.7.1 Backyard

TILE FINISHING ISSUES

 Immediate Action Needed

Tile finishing issues observed, including uneven edges, misalignment, and visible grout gaps. These defects affect both aesthetics and durability. Rectification is required to ensure proper alignment and a clean, finished look.

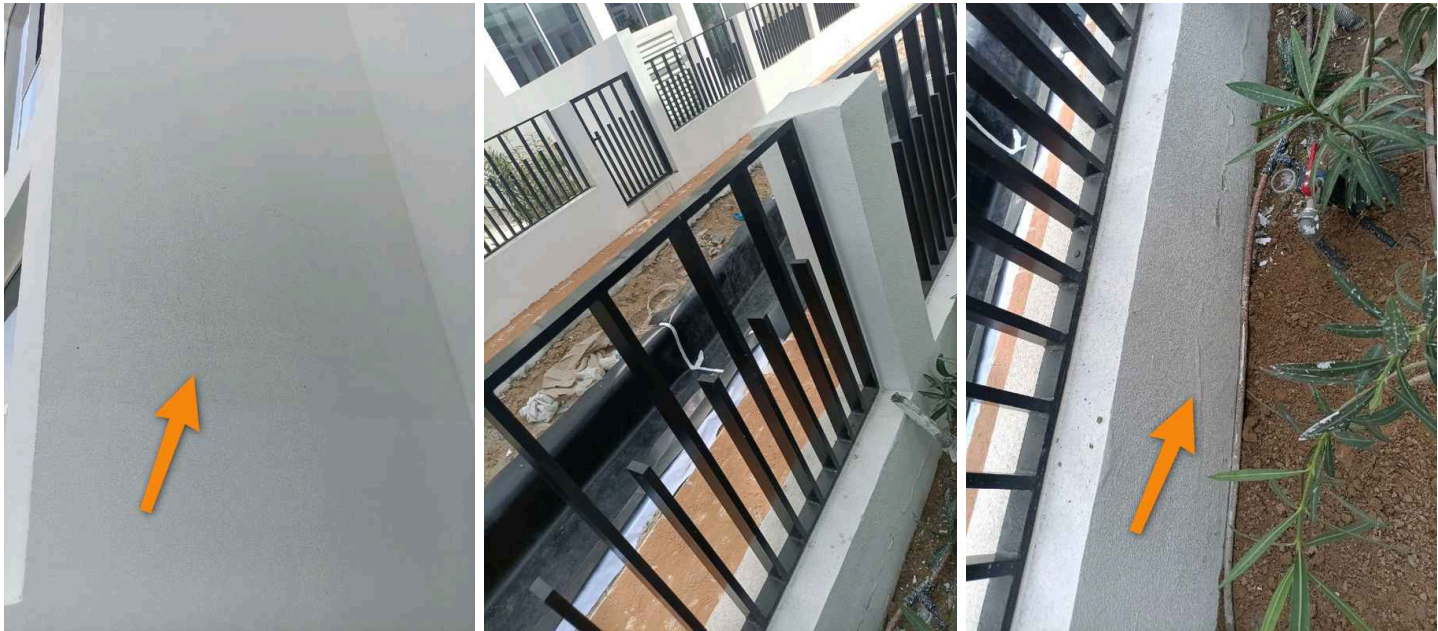


2.7.2 Backyard

BOUNDARY FINISHING ISSUE

 Repair Needed

The fence shows signs of paint patches, Cracks, and Seepage, compromising stability and security. Visible rust, paint deterioration, or wood decay reduces aesthetic appeal and lifespan. Repairs or replacement with proper sealing and alignment are recommended.



2.7.3 Backyard

IRRIGATION PROBLEM

 Immediate Action Needed

The irrigation system has inconsistent water flow and coverage, leading to dry patches and overwatered areas. Leaks, clogged nozzles, or faulty timers are contributing to inefficient water distribution. System inspection and calibration are needed to restore optimal performance.



2.8.1 Backyard 3rd floor

BOUNDARY FINISHING ISSUE

 Repair Needed

The fence shows signs of paint patches, Cracks, and inadequate anchoring, compromising stability and security. Visible rust, paint deterioration, or wood decay reduces aesthetic appeal and lifespan. Repairs or replacement with proper sealing and alignment are recommended.



2.8.2 Backyard 3rd floor

RAILING ALIGNMENT

Railing is misaligned and not level; alignment to be corrected and fixings secured as per approved drawings and safety requirements.

 Immediate Action Needed



2.8.3 Backyard 3rd floor

TILES CRACK

Cracks are visible on the backyard tiles, which may affect appearance and safety. Repair or replacement of the damaged tiles is required to restore a smooth and durable surface.

 Immediate Action Needed



2.9.1 Rooftop

WATERPROOFING ISSUE

The rooftop shows signs of failed or deteriorated waterproofing, leading to seepage and water stains. Cracks, poor membrane adhesion, and inadequate slope are contributing factors. Immediate repair and reapplication of the waterproofing system are necessary to prevent structural damage.

 Repair Needed



2.9.2 Rooftop

SOLAR PANEL AND AC OUTDOOR SERVICE REQUIRED

Repair Needed

The AC outdoor unit shows signs of dust accumulation, reduced cooling efficiency, and possible vibration or noise. Regular servicing is required to clean the condenser coil, check gas pressure, and ensure optimal performance. Timely maintenance will extend unit life and improve energy efficiency.



2.9.3 Rooftop

UNEVEN SURFACE

Repair Needed

Roof surface is uneven and not level; surface correction to be carried out to ensure proper drainage and acceptable finish.

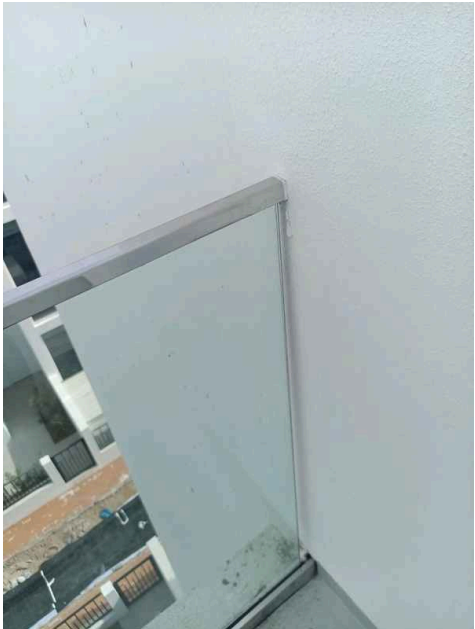


2.9.4 Rooftop

STABILITY ISSUE

Railing is unstable and lacks proper rigidity; fixings to be secured and stability to be ensured in accordance with safety standards.

 Immediate Action Needed



2.9.5 Rooftop

PENDING WORK ELECTRICAL

Electrical works are incomplete and must be completed, secured, and tested in accordance with approved drawings and applicable safety standards.

 Immediate Action Needed



2.9.6 Rooftop

RAILING BASE LEVELING ISSUE

 Repair Needed

Railing base is not properly leveled; base alignment to be corrected and securely fixed to ensure stability and proper installation



2.9.7 Rooftop

RUSTED RAILING

 Repair Needed

Corrosion observed on the railing; rust to be treated and railing to be repaired or refinished with suitable anti-corrosion protection.



2.9.8 Rooftop
COVER REQUIRED

 Repair Needed

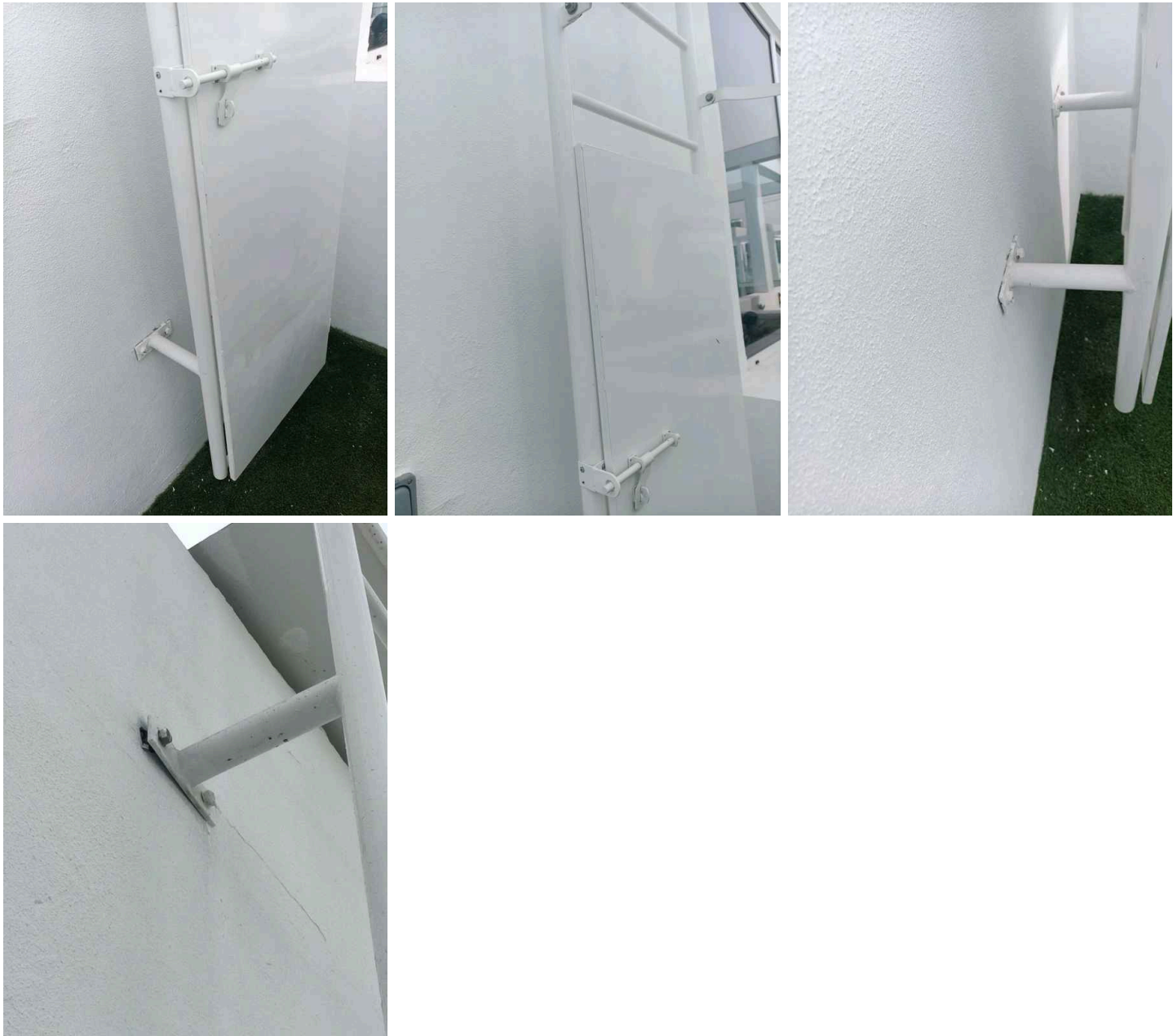
Cable tray is exposed without cover; suitable cover to be provided and securely installed to protect cables and ensure compliance with safety standards.



2.9.9 Rooftop
STAIRS FITTING AND FINISHING ISSUES

 Repair Needed

Defects observed in stair fittings and finishing; alignment, fixings, and surface finishes to be corrected to achieve safe and acceptable workmanship



2.9.10 Rooftop

MARBLE MISSING

Marble piece is missing at the specified area; replacement to be installed and properly aligned and finished as per approved specifications.

⚠ Immediate Action Needed



2.9.11 Rooftop

NEED FOAM FINISHING

➡ Repair Needed

Foam application is incomplete or uneven; proper trimming and finishing to be carried out to achieve a neat and sealed finish.



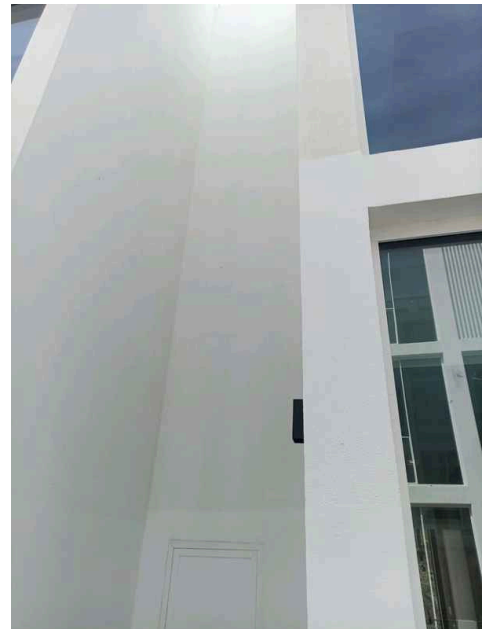
2.11.1 Outer walls

BOUNDARY FINISHING ISSUE



Repair Needed

Boundary wall finishing is incomplete and unsatisfactory at the affected area. Complete finishing works, repair defects, and ensure uniform appearance and durability.



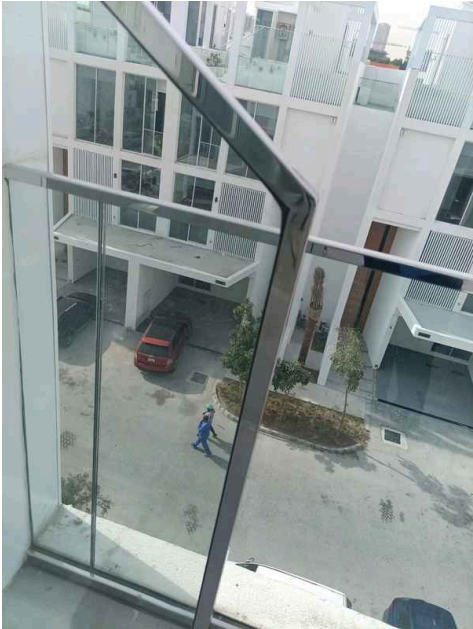
2.12.1 Swimming pool area

RAILING SEALANT, TILE CHIPPING AND GROUTING ISSUES



Repair Needed

Defects observed in railing sealant, chipped tiles, and uneven or missing grout; rectification works to be carried out to restore proper finish and durability.



2.12.2 Swimming pool area

WALL FINISHING ISSUE

Wall finishing is uneven and incomplete; affected areas to be properly prepared, finished, and repainted to achieve acceptable workmanship.

 Repair Needed



2.12.3 Swimming pool area

DRAINAGE CLOGGING

 Repair Needed

Swimming pool drainage is clogged, restricting proper water flow; drainage to be cleaned and tested to ensure free and effective discharge.



3: ENTRANCE AREA

		IN	NI	NP	D
3.1	Door	X			
3.2	Lighting Fixtures, Switches & Receptacles	X			
3.3	Distribution Board (DB)	X			
3.4	Telecommunication Board (TB)	X			
3.5	Over the Ceilling	X			
3.6	Door Bell	X			
3.7	Insect Infestation	X			

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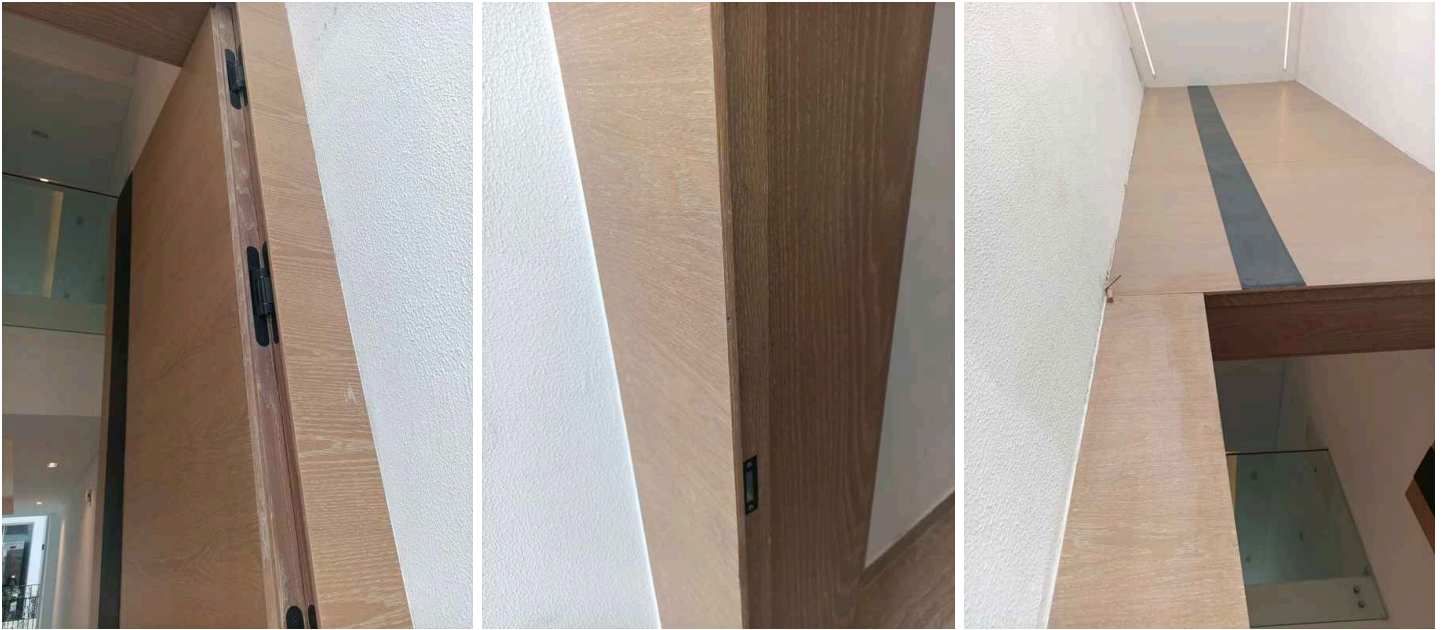
Observations

3.1.1 Door

Repair Needed

CHIPPING, PAINT, AND SCRATCHES ISSUE

The Door has visible chipping, scratches, and paint imperfections, impacting both appearance and durability. These defects may result from poor handling or finishing work. Repair, sanding, and repainting are required to restore the surface condition.





3.1.2 Door

HANDLE LOOSE ISSUE

 Immediate Action Needed

The door lock handle is loose and wobbly, affecting secure locking and smooth operation. It requires tightening or proper fixing to ensure functionality and safety.



4: CORRIDOR

		IN	NI	NP	D
4.1	General				
4.2	Door			X	
4.3	Ceiling	X			
4.4	Walls	X			
4.5	Floor	X			
4.6	Lighting Fixtures, Switches & Receptacles	X			
4.7	Cabinets			X	
4.8	Window			X	

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

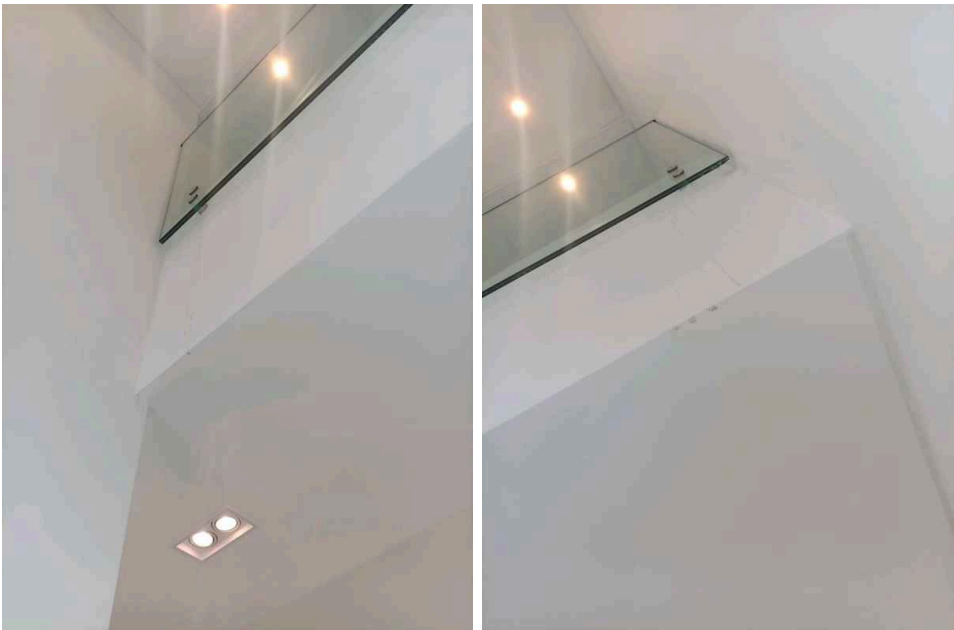
Observations

4.3.1 Ceiling

Repair Needed

PAINT TOUCH-UP AND FINISHING ISSUE

The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. This can affect the overall aesthetic of the room. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.

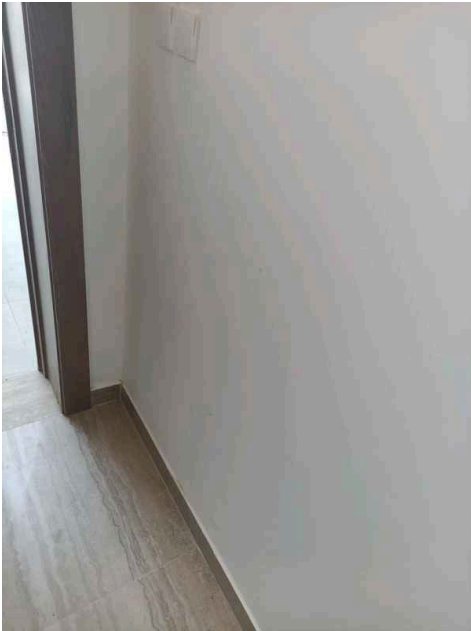
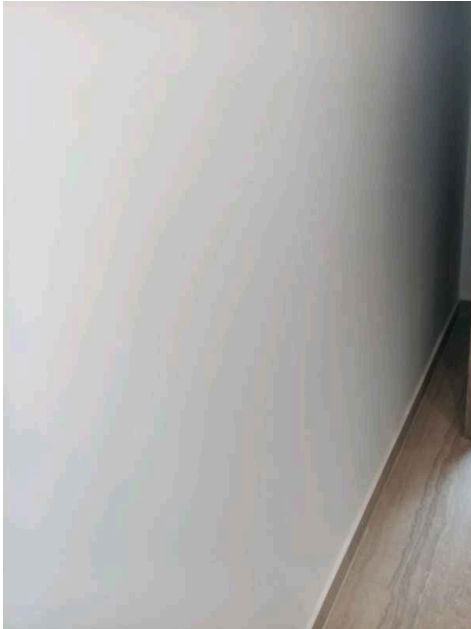
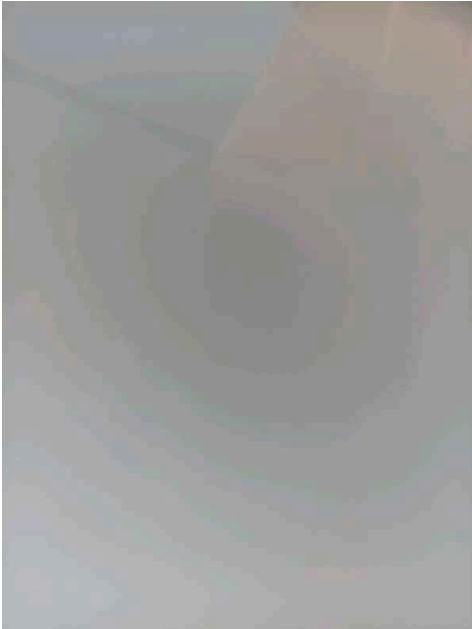


4.4.1 Walls

Repair Needed

PAINT TOUCH-UP AND FINISHING ISSUE

The wall shows visible touch-up spots and uneven paint application, resulting in an inconsistent and patchy appearance. Edges and blending are poorly executed. Proper surface preparation and repainting are required for a seamless finish.



4.5.1 Floor

UNEVEN TILE LEVEL ISSUE

Floor tiles are not uniformly leveled, resulting in height variations that create tripping hazards and a poor visual finish. This is often due to improper installation and subfloor irregularities. Reinstallation or leveling correction is needed for a smooth and safe surface.

Repair Needed



4.5.2 Floor

CHIPPING ISSUE

Surfaces show signs of chipping and cracking, typically due to impact damage, material weakness, improper installation. These defects compromise both the appearance and structural integrity. Repair or replacement is needed to restore the surface to acceptable standards.



5: LIVING ROOM

		IN	NI	NP	D
5.1	General				
5.2	Door			X	
5.3	Ceiling	X			
5.4	Walls	X			
5.5	Floor	X			
5.6	Lighting Fixtures, Switches & Receptacles	X			
5.7	Cabinets			X	
5.8	Window	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

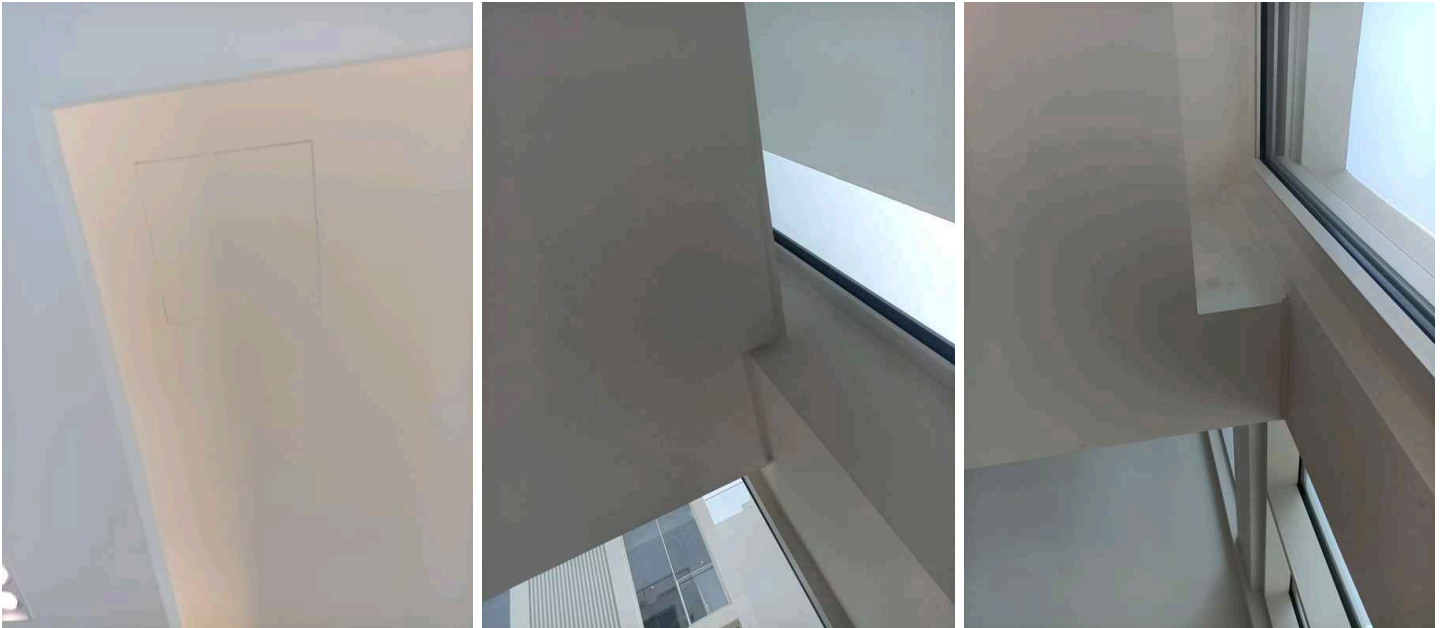
Observations

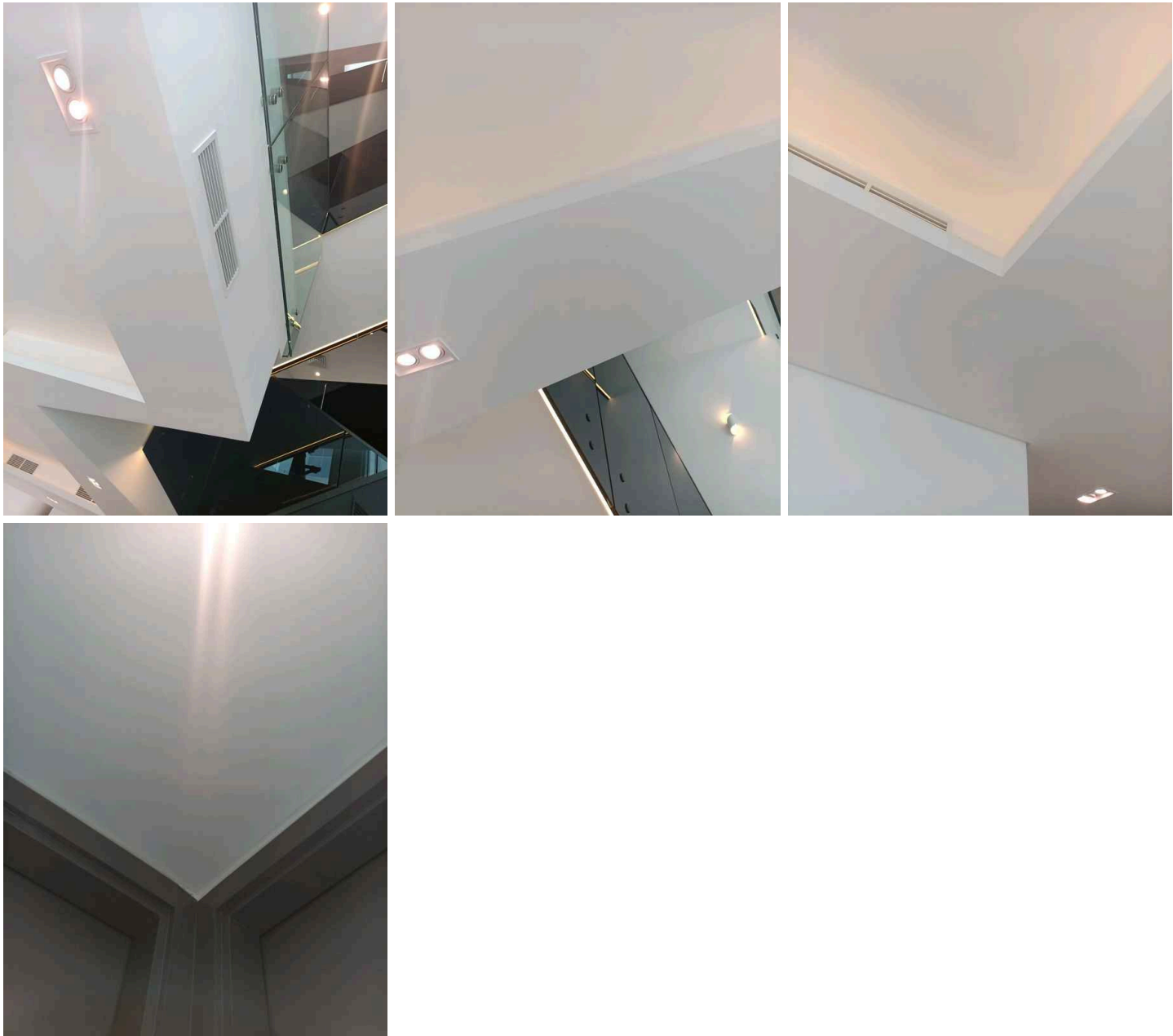
5.3.1 Ceiling

 Repair Needed

PAINT TOUCH-UP AND FINISHING ISSUE

The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. This can affect the overall aesthetic of the room. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.



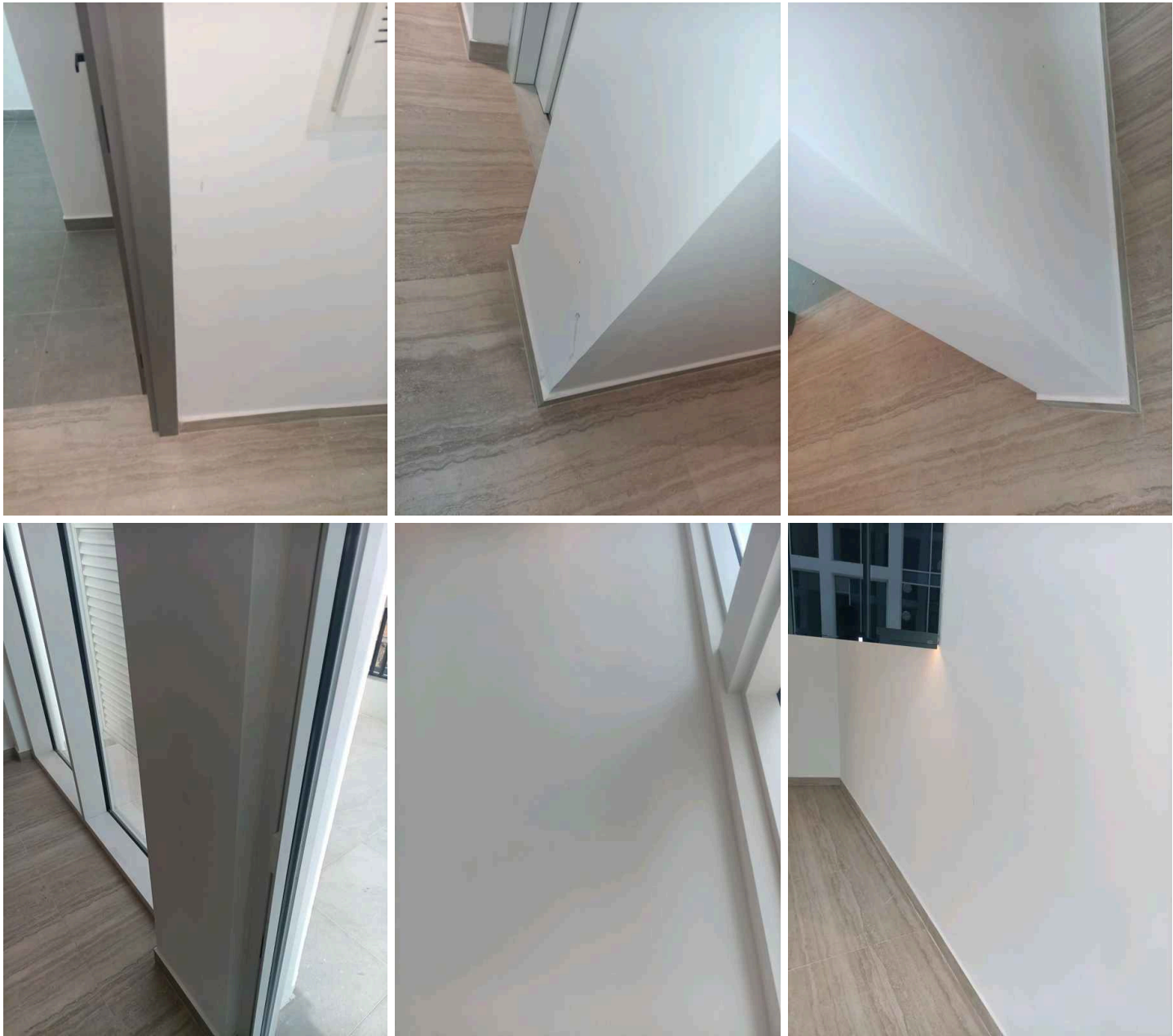


5.4.1 Walls

PAINT TOUCH-UP AND FINISHING ISSUE

 Repair Needed

The wall shows visible touch-up spots and uneven paint application, resulting in an inconsistent and patchy appearance. Edges and blending are poorly executed. Proper surface preparation and repainting are required for a seamless finish.



5.5.1 Floor

HOLLOW TILES

 Repair Needed

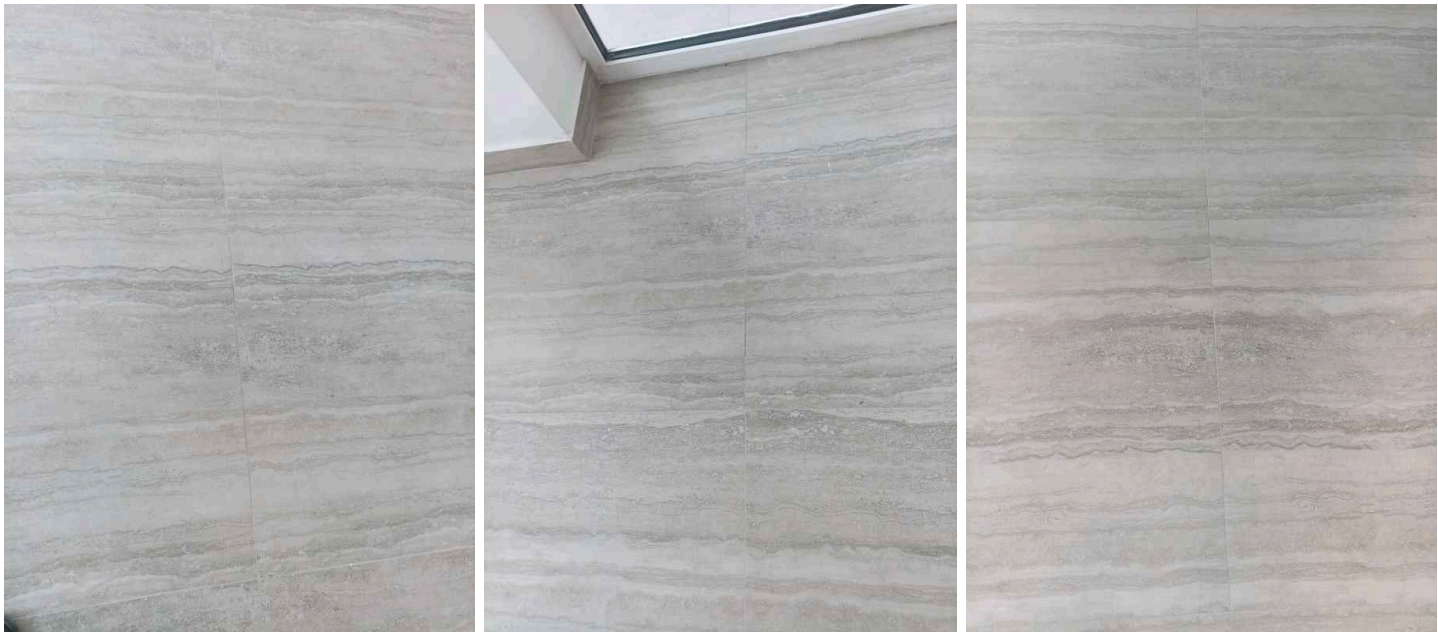
Some floor tiles sound hollow feel loose when stepped on, indicating poor bonding with the substrate. This can lead to cracking, lifting, or safety hazards over time. Reinstallation with proper adhesive is needed to secure the tiles firmly.



5.5.2 Floor
GROUT MISSING

 **Repair Needed**

Floor areas have missing and incomplete grout between tiles. Creates gaps that affect appearance and may cause water ingress. Requires proper grouting to finish the surface.





5.5.3 Floor

STAINING ISSUE

Floor shows visible stains affecting appearance and finish. Caused by spills, construction residue and improper cleaning. Requires proper cleaning or treatment to restore uniform look.

 Repair Needed



5.8.1 Window

DEEP CLEANING REQUIRED

Windows have accumulated dirt, dust and construction residue. Affects appearance and clarity. Requires thorough cleaning to restore proper finish.

 Repair Needed



5.8.2 Window

FRAME DAMAGE ISSUE

Window frame shows dents and deformation. Affects structural integrity and operation. Requires repair or replacement of damaged sections.

 Immediate Action Needed



5.8.3 Window

POWDER COATING ISSUES

Window powder coating is uneven, chipped and peeling. Affects appearance and surface protection. Requires re-coating and touch-up for proper finish.

 Repair Needed



6: POWDER BATHROOM

		IN	NI	NP	D
6.1	General				
6.2	Door	X			
6.3	Ceiling	X			
6.4	Walls	X			
6.5	Floor	X			
6.6	Lighting Fixtures, Switches & Receptacles	X			
6.7	Cabinets			X	
6.8	Over the Ceiling	X			
6.9	Shower			X	
6.10	WC	X			
6.11	Bath tub			X	
6.12	Window			X	
6.13	Glass Separation			X	
6.14	Vanity	X			
6.15	Drain issue	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Observations

6.2.1 Door

PAINT FINISHING ISSUE

Repair Needed

Paint finishing is unsatisfactory at the affected area. Carry out surface preparation and apply final paint coats to achieve uniform color and proper finish.





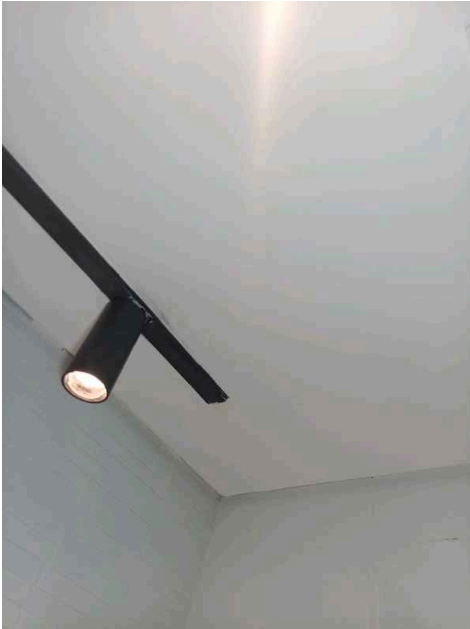
6.3.1 Ceiling

PAINT TOUCH-UP AND FINISHING ISSUE

 Repair Needed

The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. This can affect the overall aesthetic of the room. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.





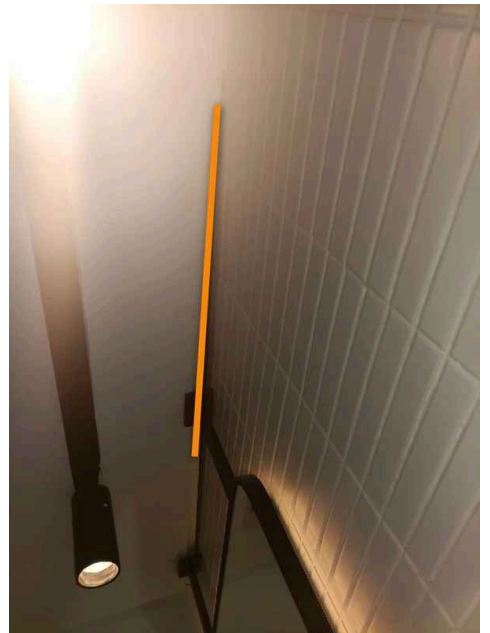
6.3.2 Ceiling

GAPS ISSUES AND MIRROR HANGER FITTING

Gaps observed at ceiling level and mirror hanger fitting is improperly fixed; gaps to be sealed and hanger to be securely installed to ensure proper finish and stability.



Repair Needed



6.4.1 Walls

GROUT MISSING

wall areas have missing and incomplete grout between tiles. Creates gaps that affect appearance and may cause water ingress. Requires proper grouting to finish the surface.



Repair Needed

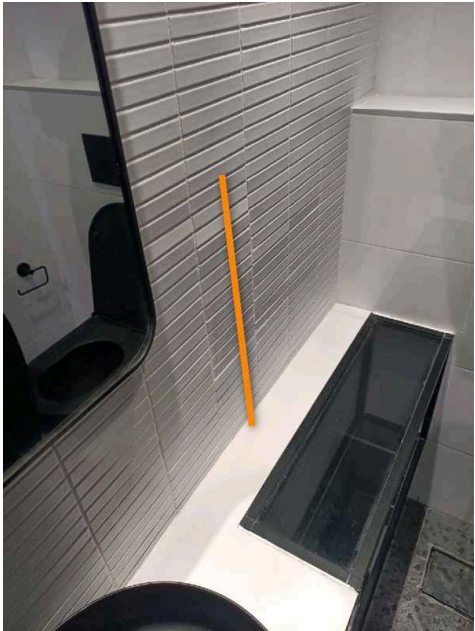


6.5.1 Floor

UNEVEN TILE LEVEL ISSUE

Floor tiles are not uniformly leveled, resulting in height variations that create tripping hazards and a poor visual finish. This is often due to improper installation and subfloor irregularities. Reinstallation or leveling correction is needed for a smooth and safe surface.

 Repair Needed



6.5.2 Floor

GROUT MISSING

Floor areas have missing and incomplete grout between tiles. Creates gaps that affect appearance and may cause water ingress. Requires proper grouting to finish the surface.

 Repair Needed



6.6.1 Lighting Fixtures, Switches & Receptacles

CLEANING REQUIRED

Electrical switches are paint clogged; proper cleaning to be carried out to restore neat appearance and ensure safe operation.

 Repair Needed



6.14.1 Vanity

POOR FINISHING

Vanity surfaces show uneven finishing, rough edges and visible defects. Affects appearance and quality. Requires proper sanding, filling, and finishing.

 Repair Needed



6.14.2 Vanity

SILICONE FILLING REQUIRED

 Immediate Action Needed

Silicone sealing at vanity area is missing or incomplete; proper silicone filling to be applied to ensure watertight sealing and neat finish.



7: GUEST BEDROOM

		IN	NI	NP	D
7.1	General				
7.2	Door	X			
7.3	Ceiling	X			
7.4	Walls	X			
7.5	Floor	X			
7.6	Lighting Fixtures, Switches & Receptacles	X			
7.7	Cabinets	X			
7.8	Window	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Observations

7.2.1 Door

PAINT FINISHING ISSUE

Repair Needed

Paint finishing is unsatisfactory at the affected area. Carry out surface preparation and apply final paint coats to achieve uniform color and proper finish.



7.3.1 Ceiling

PAINT TOUCH-UP AND FINISHING ISSUE

Repair Needed

The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. This can affect the overall aesthetic of the room. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.



7.4.1 Walls

PAINT TOUCH-UP AND FINISHING ISSUE

 Repair Needed

The wall shows visible touch-up spots and uneven paint application, resulting in an inconsistent and patchy appearance. Edges and blending are poorly executed. Proper surface preparation and repainting are required for a seamless finish.

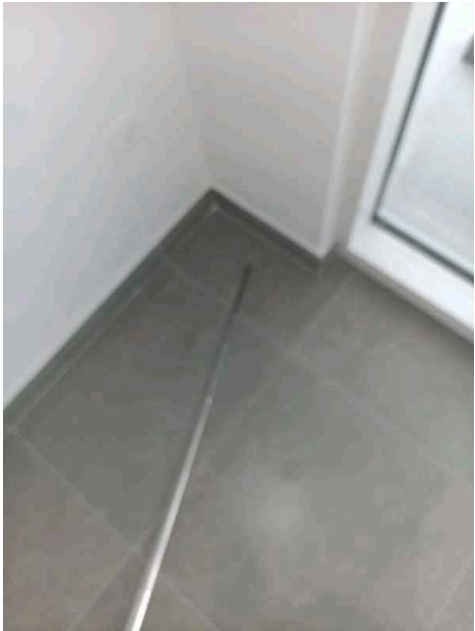


7.5.1 Floor

HOLLOW TILES

Some floor tiles sound hollow feel loose when stepped on, indicating poor bonding with the substrate. This can lead to cracking, lifting, or safety hazards over time. Reinstallation with proper adhesive is needed to secure the tiles firmly.

 Repair Needed



7.7.1 Cabinets

CHIPPING ISSUE

Cabinet surfaces show visible chips and damage. Affects appearance and finish quality. Requires repair or replacement of affected areas.

 Repair Needed



7.7.2 Cabinets

FILLING REQUIRED



Immediate Action Needed

Gaps and finishing defects observed on the cabinet; filling and proper finishing to be carried out to achieve a neat and acceptable appearance.



7.8.1 Window

POWDER COATING ISSUES



Repair Needed

Window powder coating is uneven, chipped and peeling. Affects appearance and surface protection. Requires re-coating and touch-up for proper finish.



8: GUEST BATHROOM

		IN	NI	NP	D
8.1	General				
8.2	Door	X			
8.3	Ceiling	X			
8.4	Walls	X			
8.5	Floor	X			
8.6	Lighting Fixtures, Switches & Receptacles	X			
8.7	Cabinets			X	
8.8	Over the Ceiling	X			
8.9	Shower	X			
8.10	WC	X			
8.11	Bath tub			X	
8.12	Window			X	
8.13	Glass Separation			X	
8.14	Vanity	X			
8.15	Drain issue	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

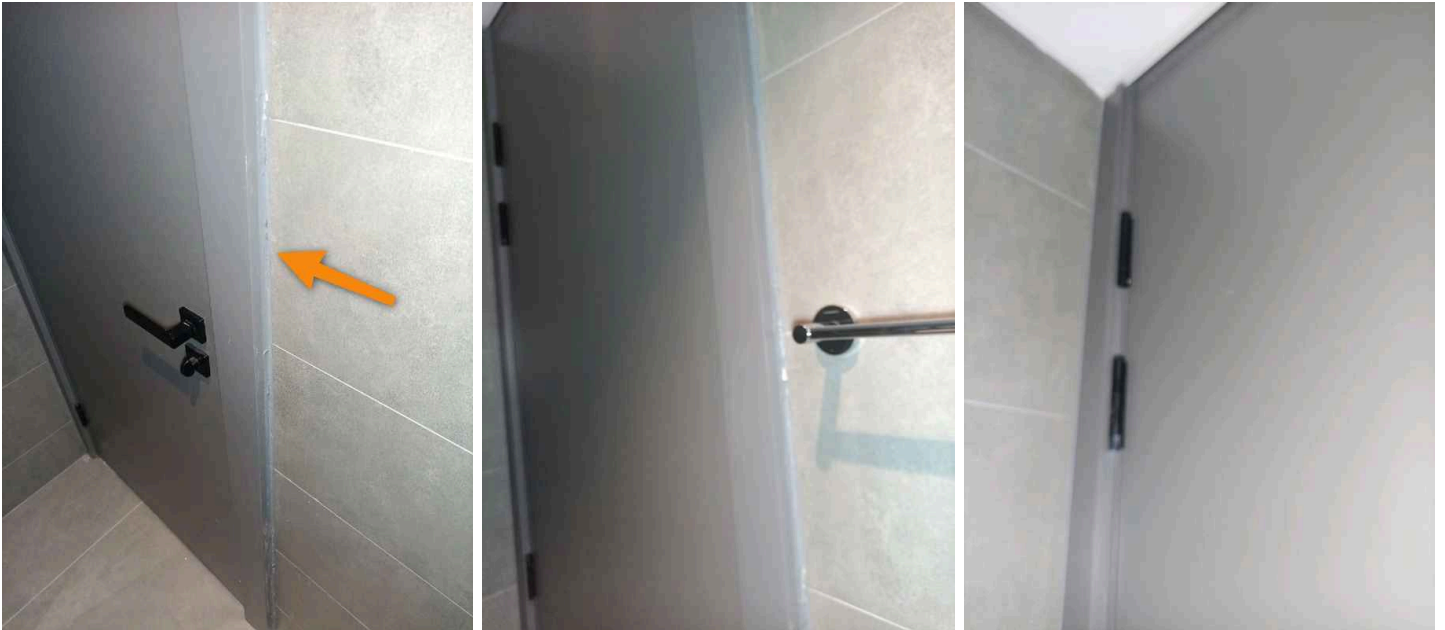
Observations

8.2.1 Door

PAINT FINISHING ISSUE

Repair Needed

Paint finishing is unsatisfactory at the affected area. Carry out surface preparation and apply final paint coats to achieve uniform color and proper finish.



8.3.1 Ceiling

 Repair Needed

PAINT TOUCH-UP AND FINISHING ISSUE

The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. This can affect the overall aesthetic of the room. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.



8.4.1 Walls

 Repair Needed

GROUT MISSING

wall areas have missing and incomplete grout between tiles. Creates gaps that affect appearance and may cause water ingress. Requires proper grouting to finish the surface.



8.5.1 Floor

Repair Needed

UNEVEN TILE LEVEL ISSUE

Floor tiles are not uniformly leveled, resulting in height variations that create tripping hazards and a poor visual finish. This is often due to improper installation and subfloor irregularities. Reinstallation or leveling correction is needed for a smooth and safe surface.



8.14.1 Vanity

Repair Needed

POOR FINISHING

Vanity surfaces show uneven finishing, rough edges and visible defects. Affects appearance and quality. Requires proper sanding, filling, and finishing.



9: STAIR AREA

		IN	NI	NP	D
9.1	General				
9.2	Door				
9.3	Ceiling	X			
9.4	Walls	X			
9.5	Steps	X			
9.6	Lighting Fixtures, Switches & Receptacles	X			
9.7	Railing	X			
9.8	Cabinets			X	
9.9	Window			X	

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

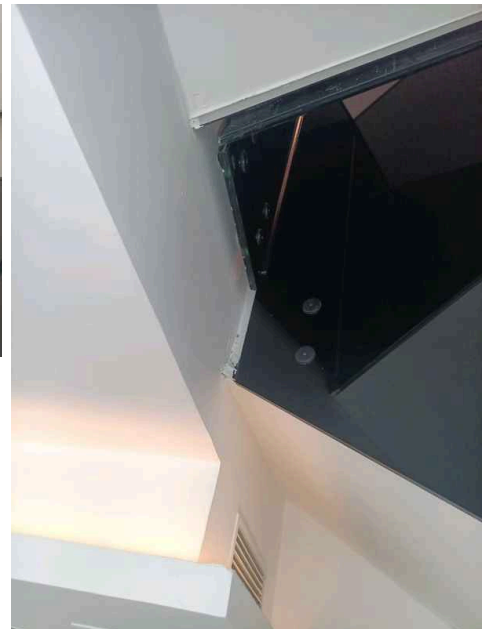
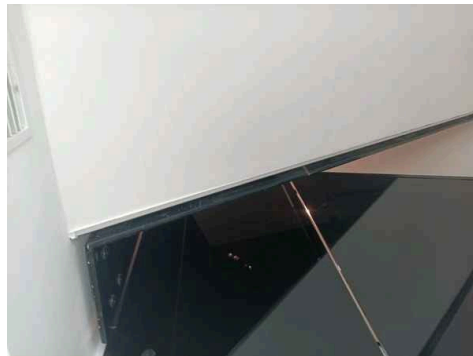
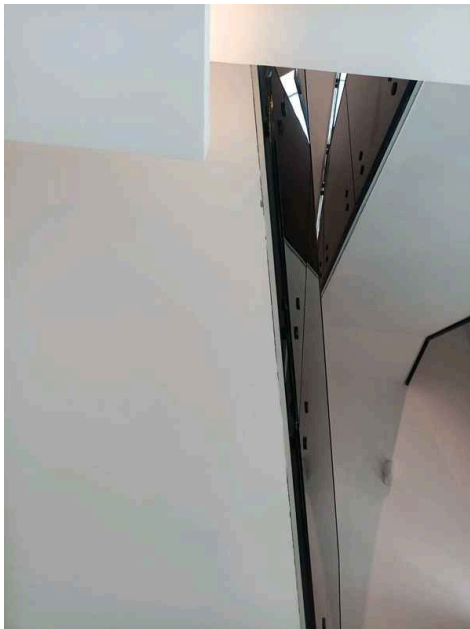
Observations

9.3.1 Ceiling

 Repair Needed

PAINT TOUCH-UP AND FINISHING ISSUE

The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.

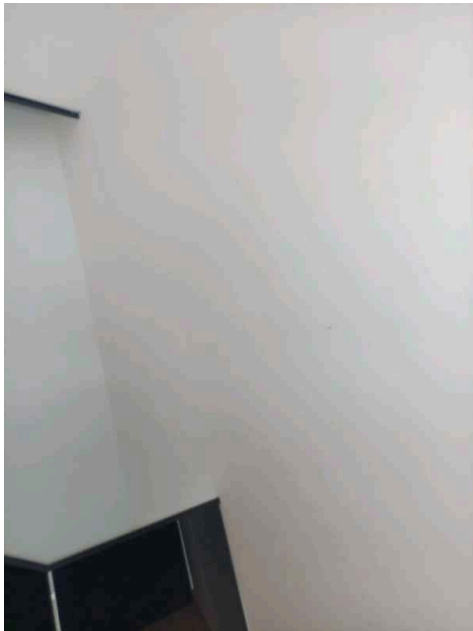


9.4.1 Walls

 Repair Needed

PAINT TOUCH-UP AND FINISHING ISSUE

The wall shows visible touch-up spots and uneven paint application, resulting in an inconsistent and patchy appearance. Edges and blending are poorly executed. Proper surface preparation and repainting are required for a seamless finish.



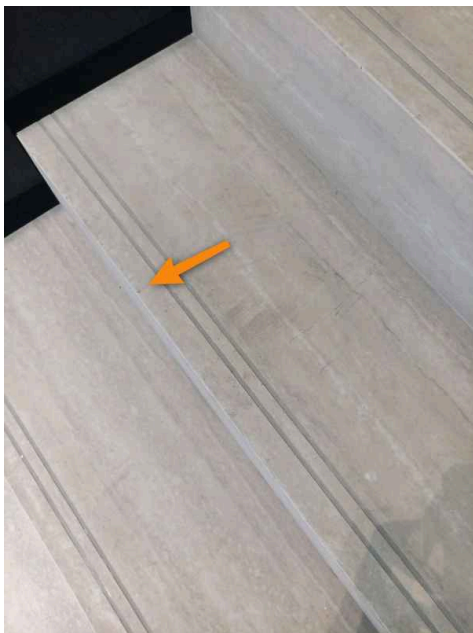
9.5.1 Steps

CHIPPING ISSUE



Immediate Action Needed

Surfaces show signs of chipping and cracking, typically due to impact damage, material weakness, improper installation. These defects compromise both the appearance and structural integrity. Repair or replacement is needed to restore the surface to acceptable standards.



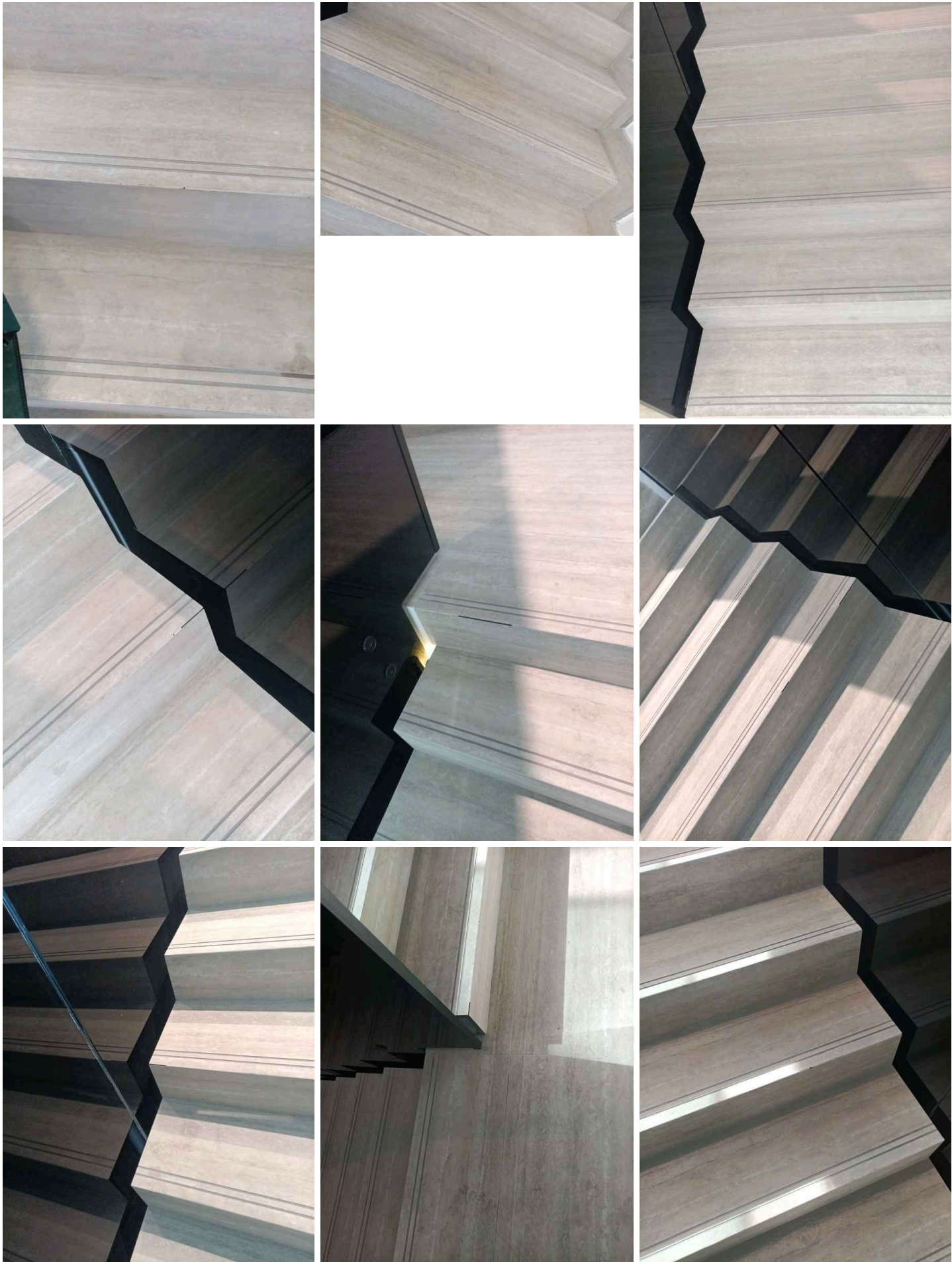
9.5.2 Steps

GROUT MISSING



Repair Needed

Floor areas have missing and incomplete grout between tiles. Creates gaps that affect appearance and may cause water ingress. Requires proper grouting to finish the surface.





9.5.3 Steps

STAINING ISSUE

Repair Needed

Floor shows visible stains affecting appearance and finish. Caused by spills, construction residue and improper cleaning. Requires proper cleaning or treatment to restore uniform look.

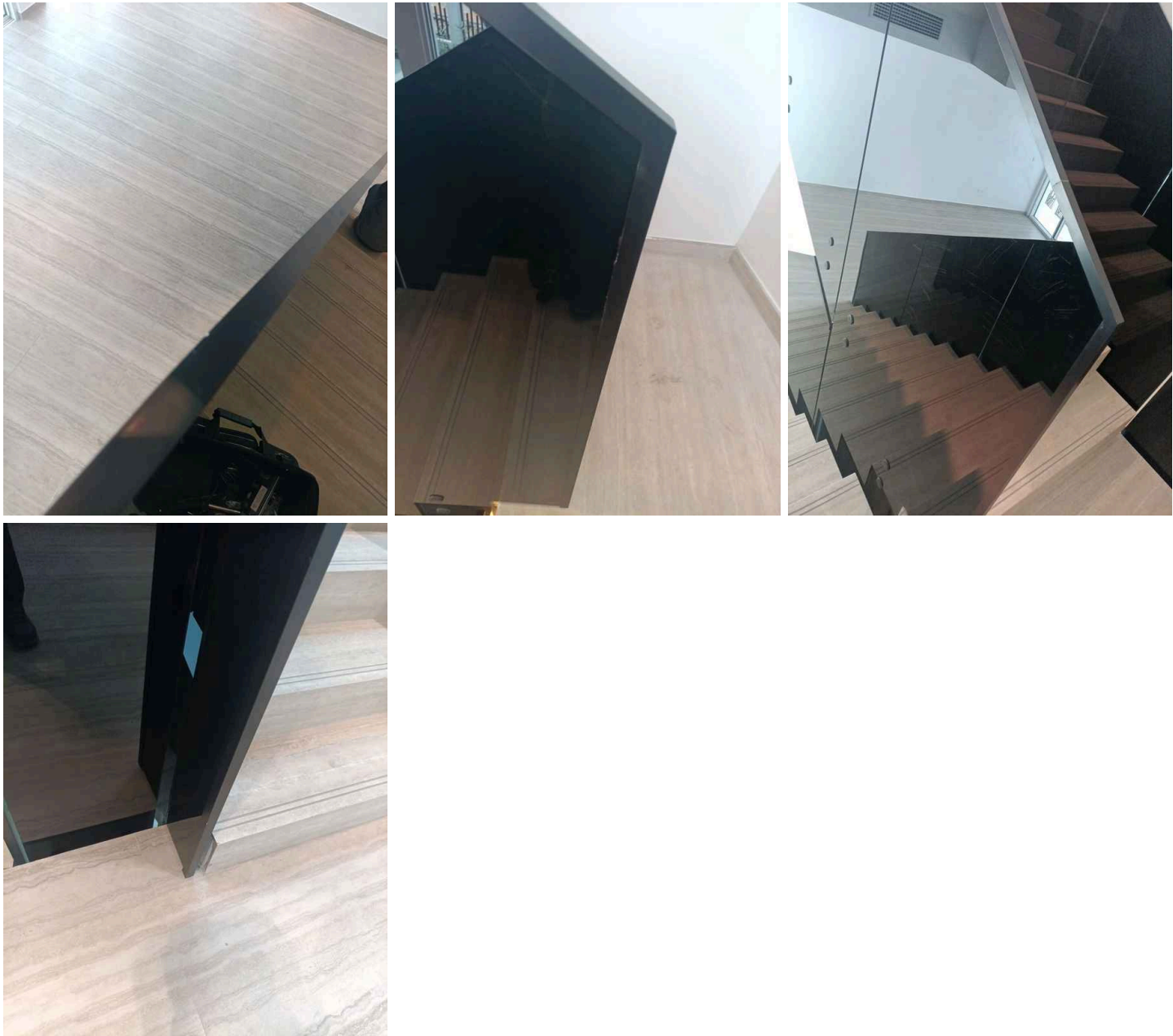


9.7.1 Railing

SURFACE FINISHING ISSUE

Repair Needed

Visible scratches, dusty surface and rough welds are present on the railing surface.

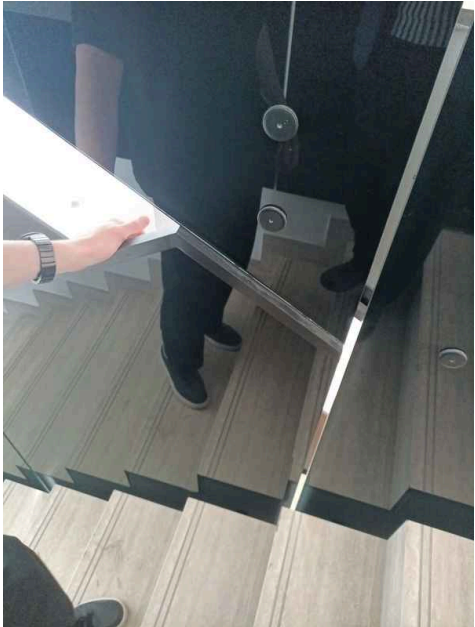


9.7.2 Railing

ALIGNMENT ISSUE

Railing is misaligned; alignment to be corrected and fixings secured to ensure proper installation and safety.

 Immediate Action Needed



10: LIVING ROOM FF

		IN	NI	NP	D
10.1	General				
10.2	Door			X	
10.3	Ceiling	X			X
10.4	Walls	X			X
10.5	Floor	X			X
10.6	Lighting Fixtures, Switches & Receptacles	X			
10.7	Cabinets			X	
10.8	Window	X			X
10.9	Db board				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

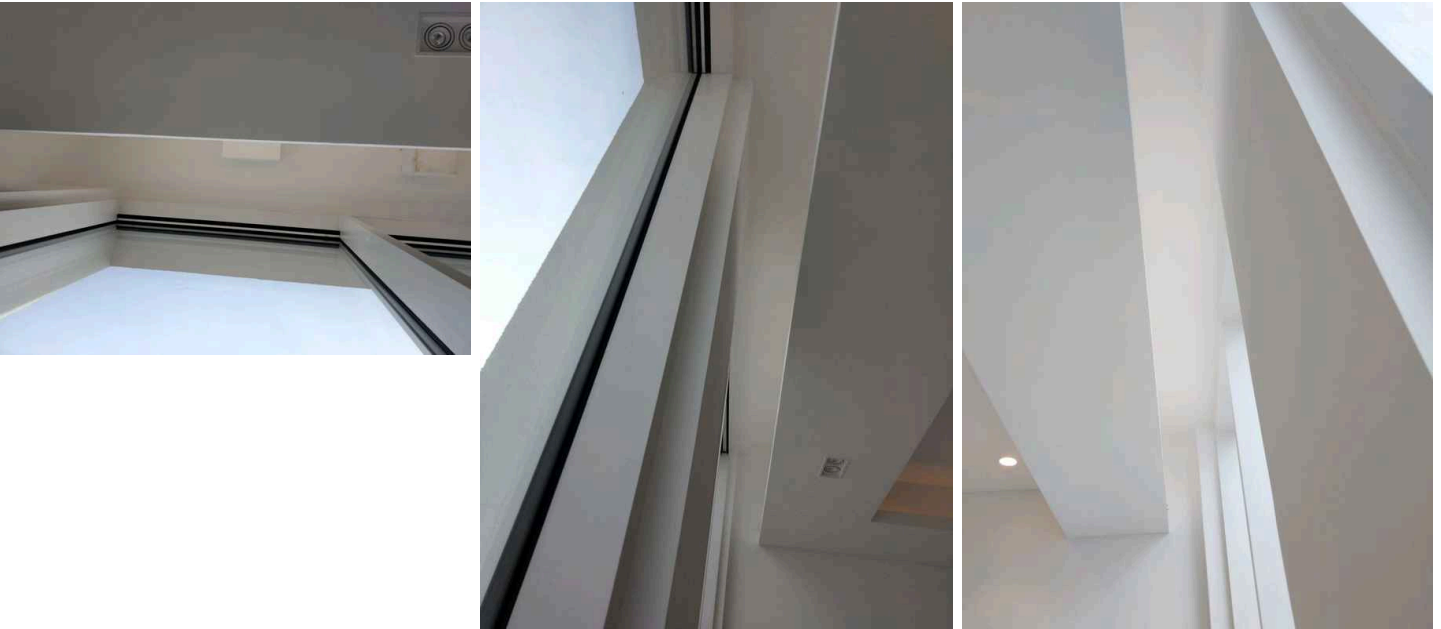
Observations

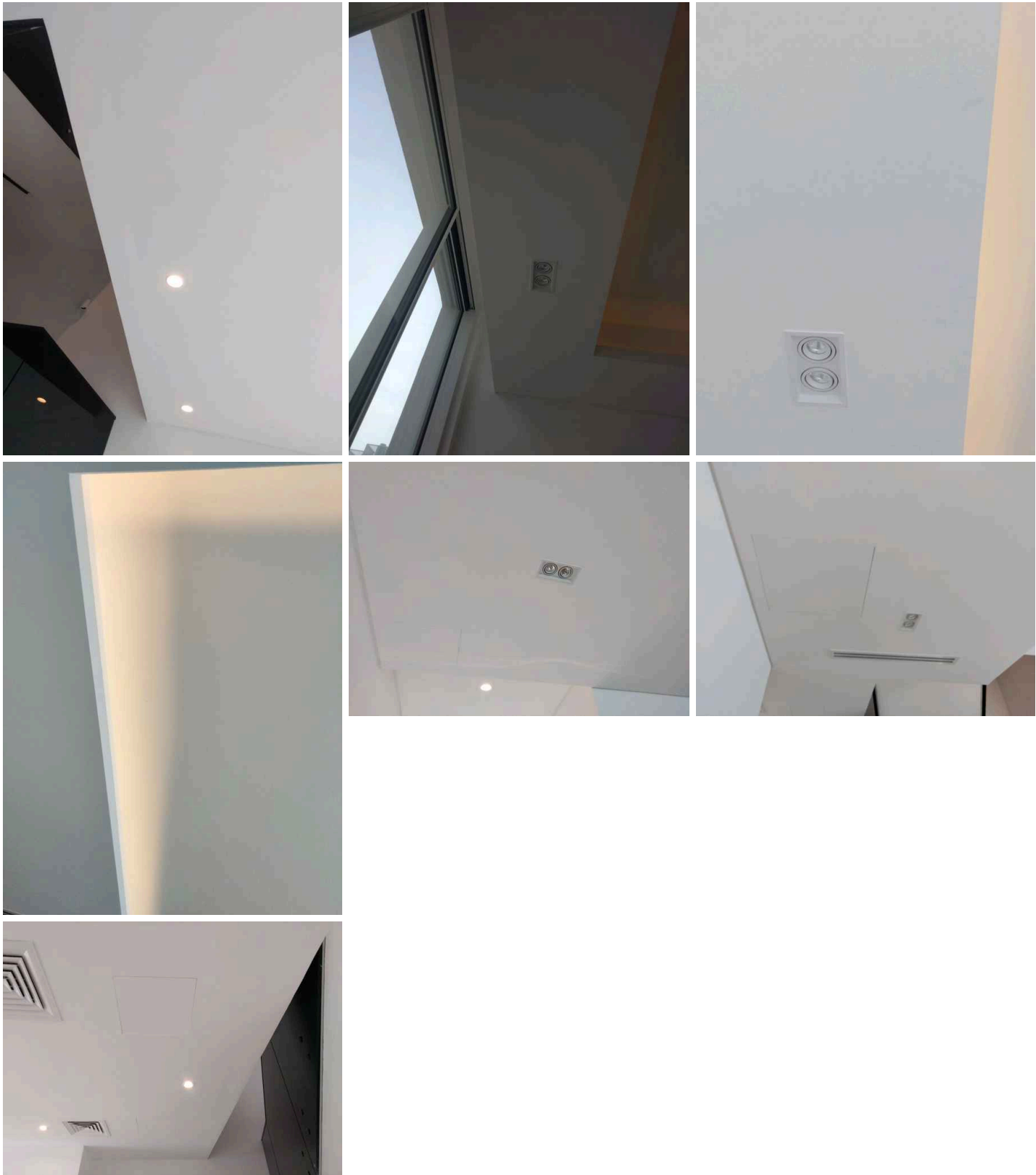
10.3.1 Ceiling

 Repair Needed

PAINT TOUCH-UP AND FINISHING ISSUE

The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. This can affect the overall aesthetic of the room. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.





10.3.2 Ceiling

WATER STAINS ISSUE

 Repair Needed

Water stains visible on ceiling indicating leakage and moisture ingress. Discoloration affects finish and appearance. Requires rectification to prevent further damage.

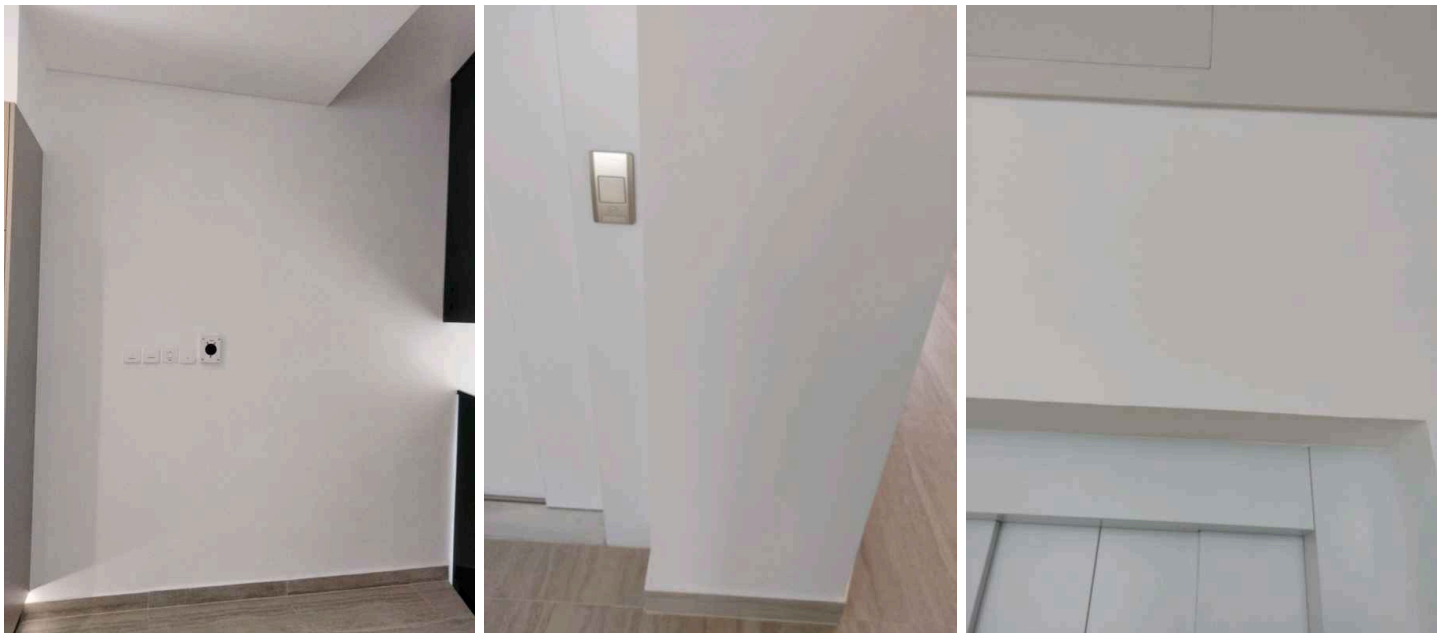


10.4.1 Walls

PAINT TOUCH-UP AND FINISHING ISSUE

 Repair Needed

The wall shows visible touch-up spots and uneven paint application, resulting in an inconsistent and patchy appearance. Edges and blending are poorly executed. Proper surface preparation and repainting are required for a seamless finish.



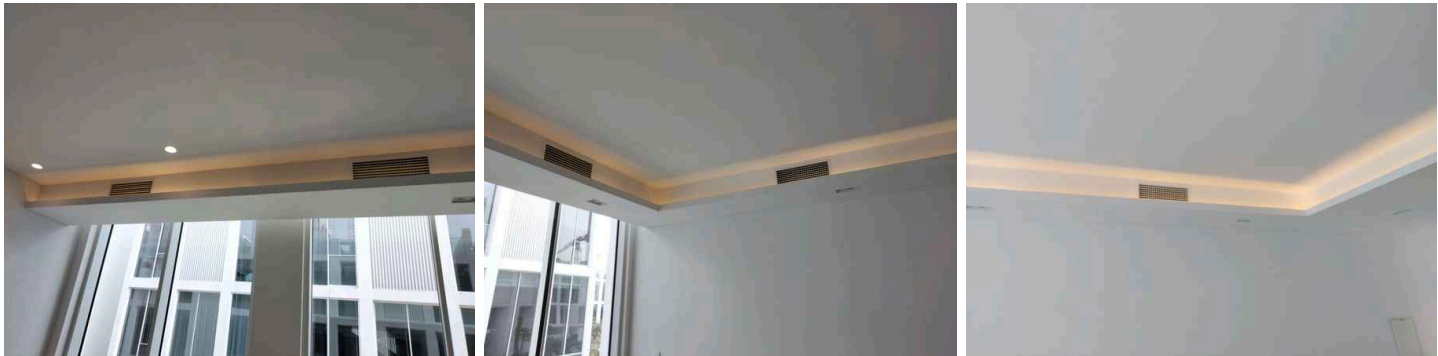


10.4.2 Walls

AC GRILL CLEANING REQUIRED

 Repair Needed

Dust and dirt accumulation is visible on the AC grill. Thorough cleaning is required to ensure proper airflow, hygiene, and efficient cooling performance.

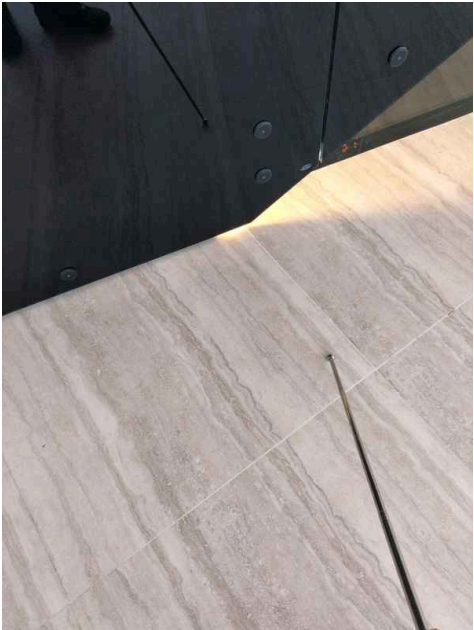


10.5.1 Floor

HOLLOW TILES

 Repair Needed

Some floor tiles sound hollow feel loose when stepped on, indicating poor bonding with the substrate. This can lead to cracking, lifting, or safety hazards over time. Reinstallation with proper adhesive is needed to secure the tiles firmly.



10.5.2 Floor

STAINING ISSUE

 Repair Needed

Floor shows visible stains affecting appearance and finish. Caused by spills, construction residue and improper cleaning. Requires proper cleaning or treatment to restore uniform look.



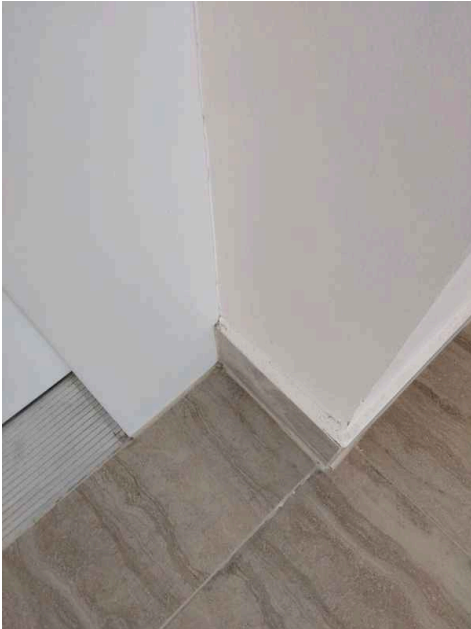
10.5.3 Floor

SKIRTING GAP ISSUES

Gaps observed between skirting and wall floor due to poor filling. Affects finish and visual appearance. Requires proper fixing and sealing.

 Immediate Action Needed





10.5.4 Floor

GROUTING COLOR VARIATION

 Repair Needed

Grout color is inconsistent across the floor, affecting uniformity and appearance. Indicates poor workmanship and improper material mixing. Requires cleaning, correction, or re-grouting for a consistent finish.





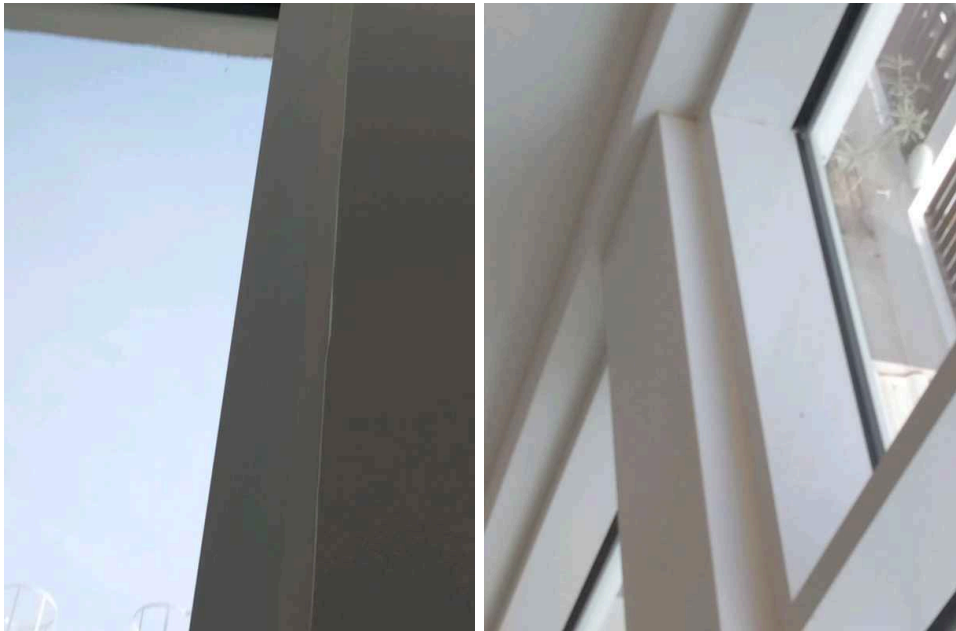
10.8.1 Window

RUBBER SEALANT ISSUE

 Repair Needed

Window rubber sealant is damaged and improperly applied. Causes air and heat penetration, affecting performance. Requires replacement or proper sealing.



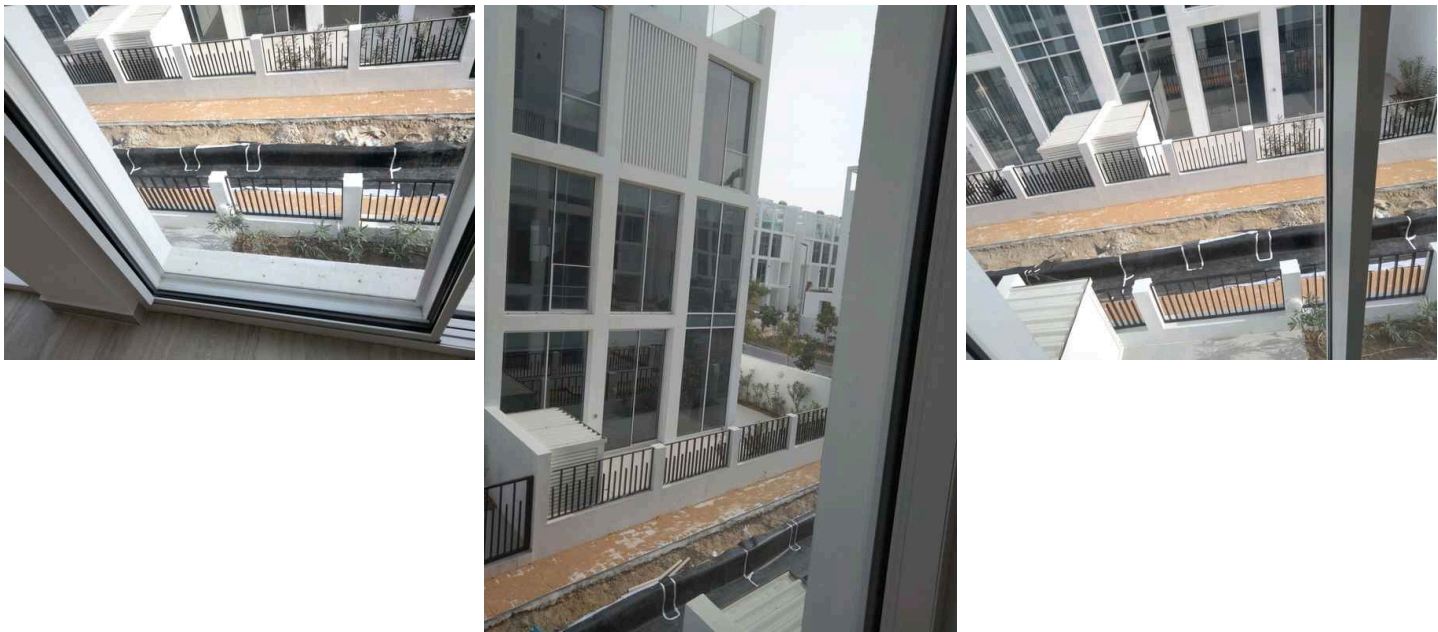


10.8.2 Window

GLASS SCRATCHES ISSUE

 Repair Needed

Window glass shows visible scratches affecting appearance. May compromise clarity and finish quality. Requires polishing or glass replacement.

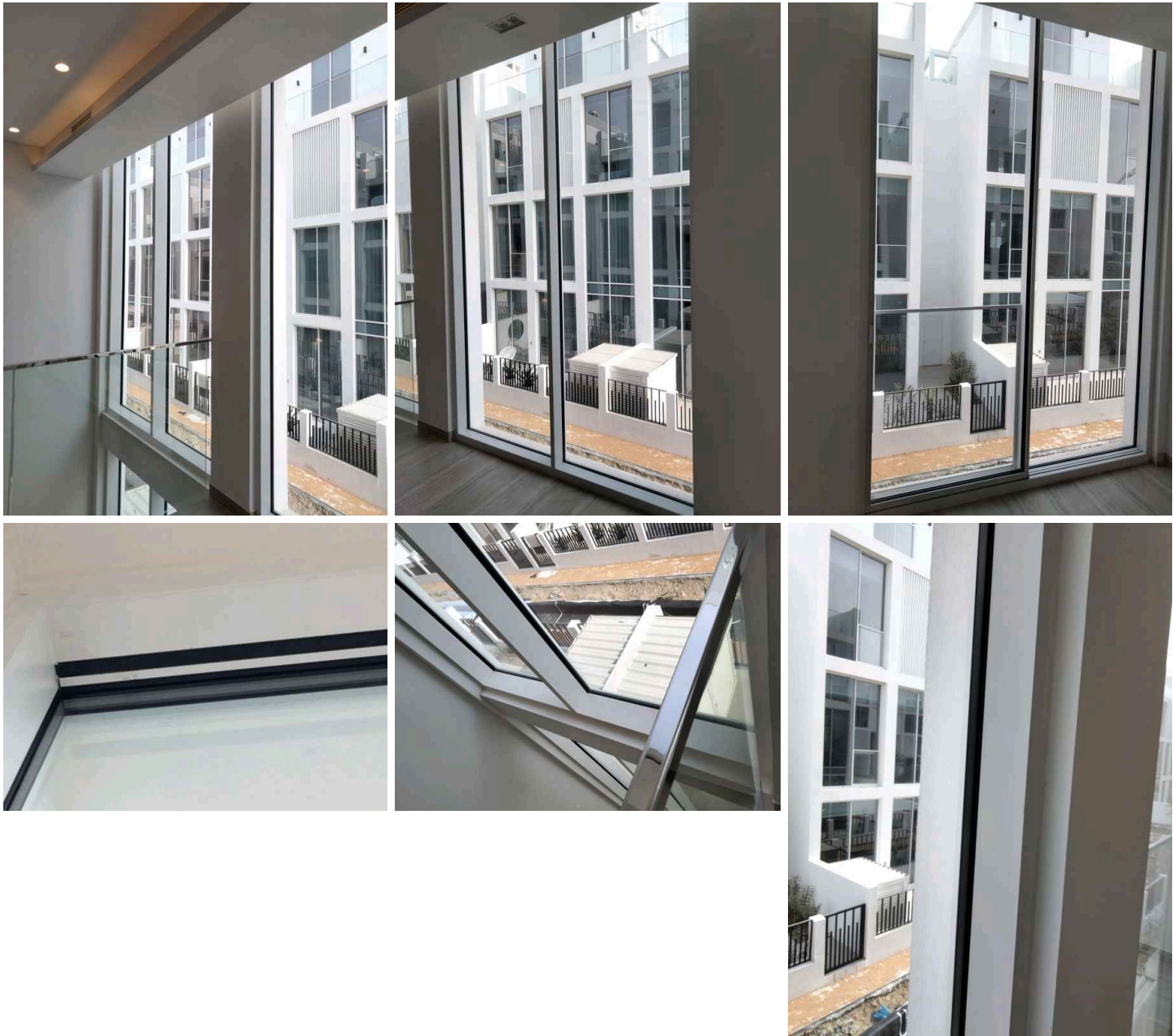


10.8.3 Window

DEEP CLEANING REQUIRED

 Repair Needed

Windows have accumulated dirt, dust and construction residue. Affects appearance and clarity. Requires thorough cleaning to restore proper finish.



10.9.1 Db board

PAINTING ISSUES

 Repair Needed

The distribution board surface shows uneven paint, scratches, or poor finishing. Proper touch-up or repainting is required to achieve a neat and uniform appearance.



10.9.2 Db board

CLOSING ISSUES

Repair Needed

Distribution board door is not closing properly; hinges, alignment, and fixings to be adjusted or repaired to ensure safe enclosure.



11: KITCHEN FF

		IN	NI	NP	D
11.1	Door				
11.2	Ceiling	X			X
11.3	Walls	X			X
11.4	Floor	X			X
11.5	Lighting Fixtures, Switches & Receptacles	X			
11.6	Cabinets	X			X
11.7	Over the Ceilling				
11.8	Window				
11.9	Dishwasher				
11.10	Exhaust Hood				
11.11	Splash area				
11.12	Counter top	X			X
11.13	Refrigerator	X			X
11.14	Burner				
11.15	Burner	X			
11.16	Washing Machine				
11.17	Insect Infestation				
11.18	Over the Ceilling				
11.19	Drain issue				
11.20	Fire extinguisher				
11.21	Gas pipe issue				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

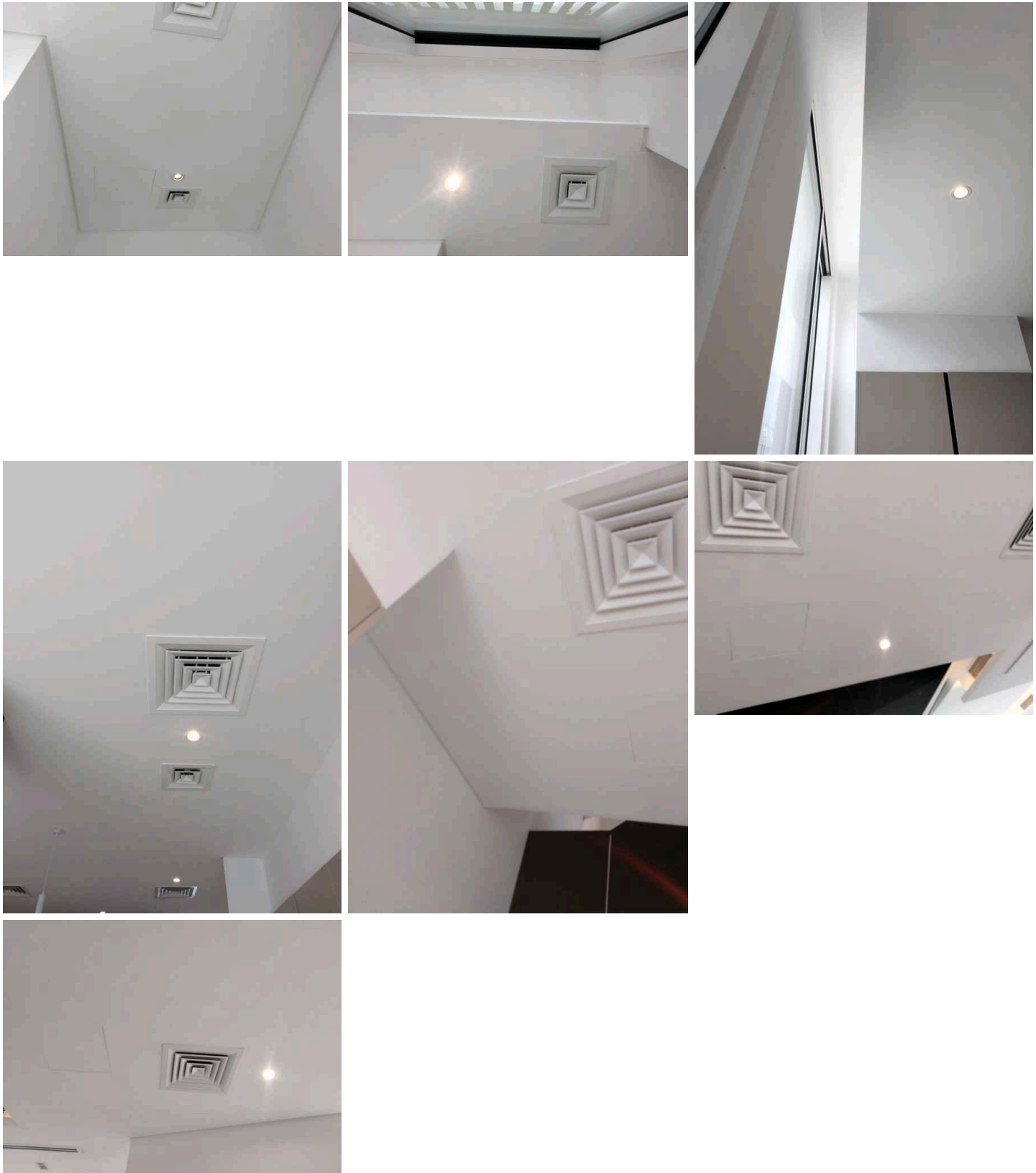
Observations

11.2.1 Ceiling

PAINT TOUCH-UP AND FINISHING ISSUE

 Repair Needed

The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. This can affect the overall aesthetic of the room. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.

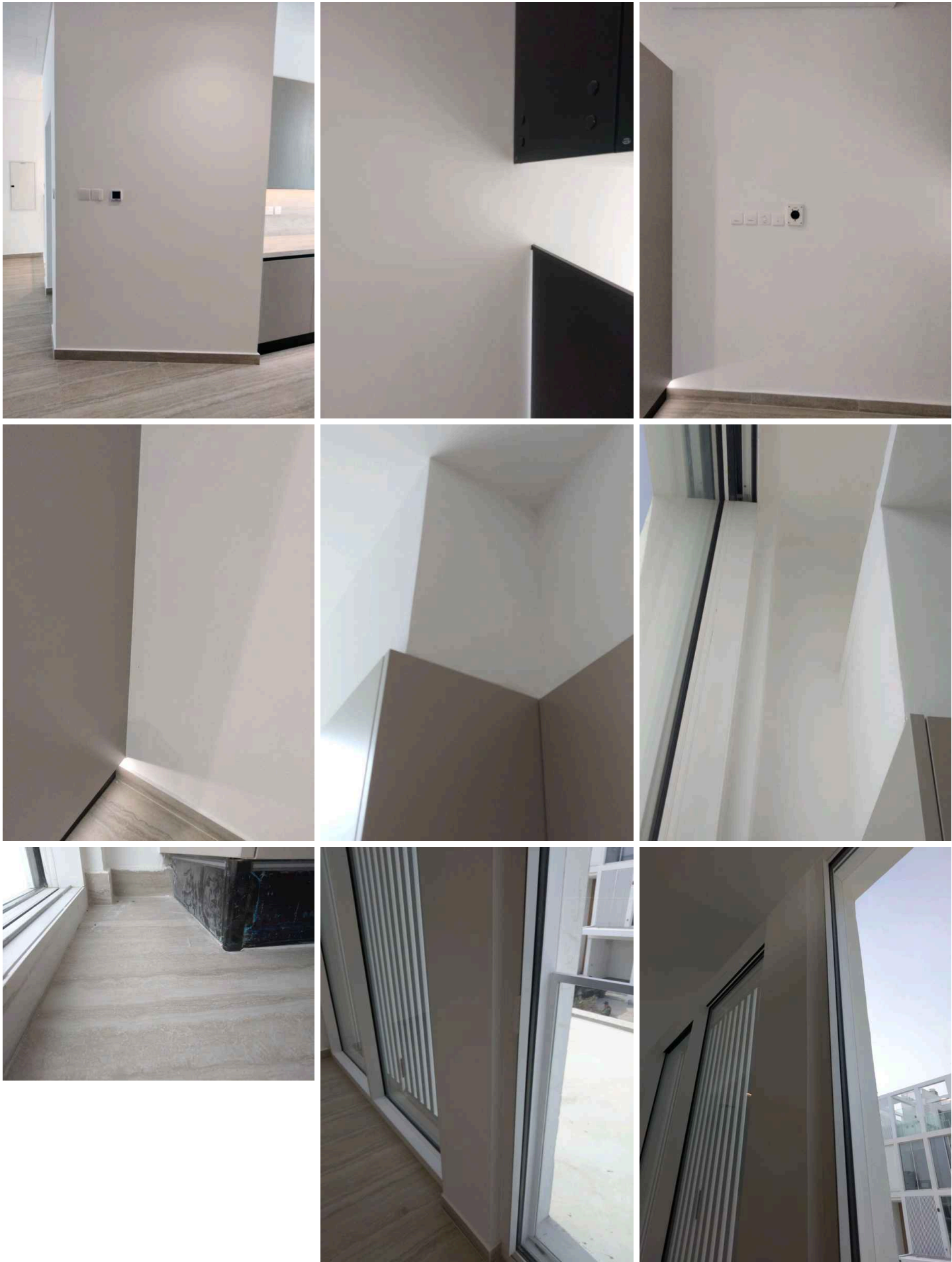


11.3.1 Walls

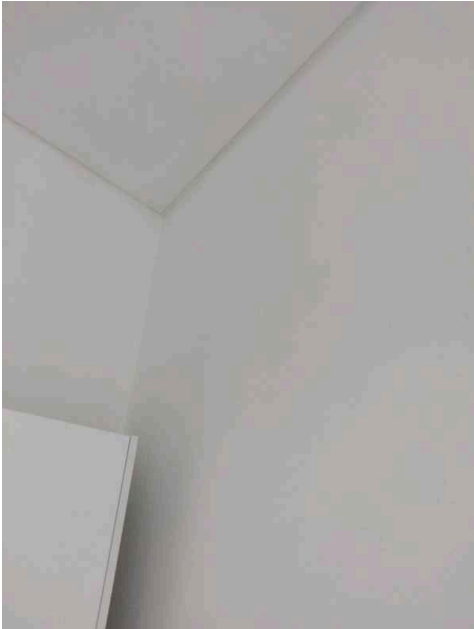
PAINT TOUCH-UP AND FINISHING ISSUE

 Repair Needed

The wall shows visible touch-up spots and uneven paint application, resulting in an inconsistent and patchy appearance. Edges and blending are poorly executed. Proper surface preparation and repainting are required for a seamless finish.







11.4.1 Floor

HOLLOW TILES

Some floor tiles sound hollow feel loose when stepped on, indicating poor bonding with the substrate. This can lead to cracking, lifting, or safety hazards over time. Reinstallation with proper adhesive is needed to secure the tiles firmly.

 Repair Needed

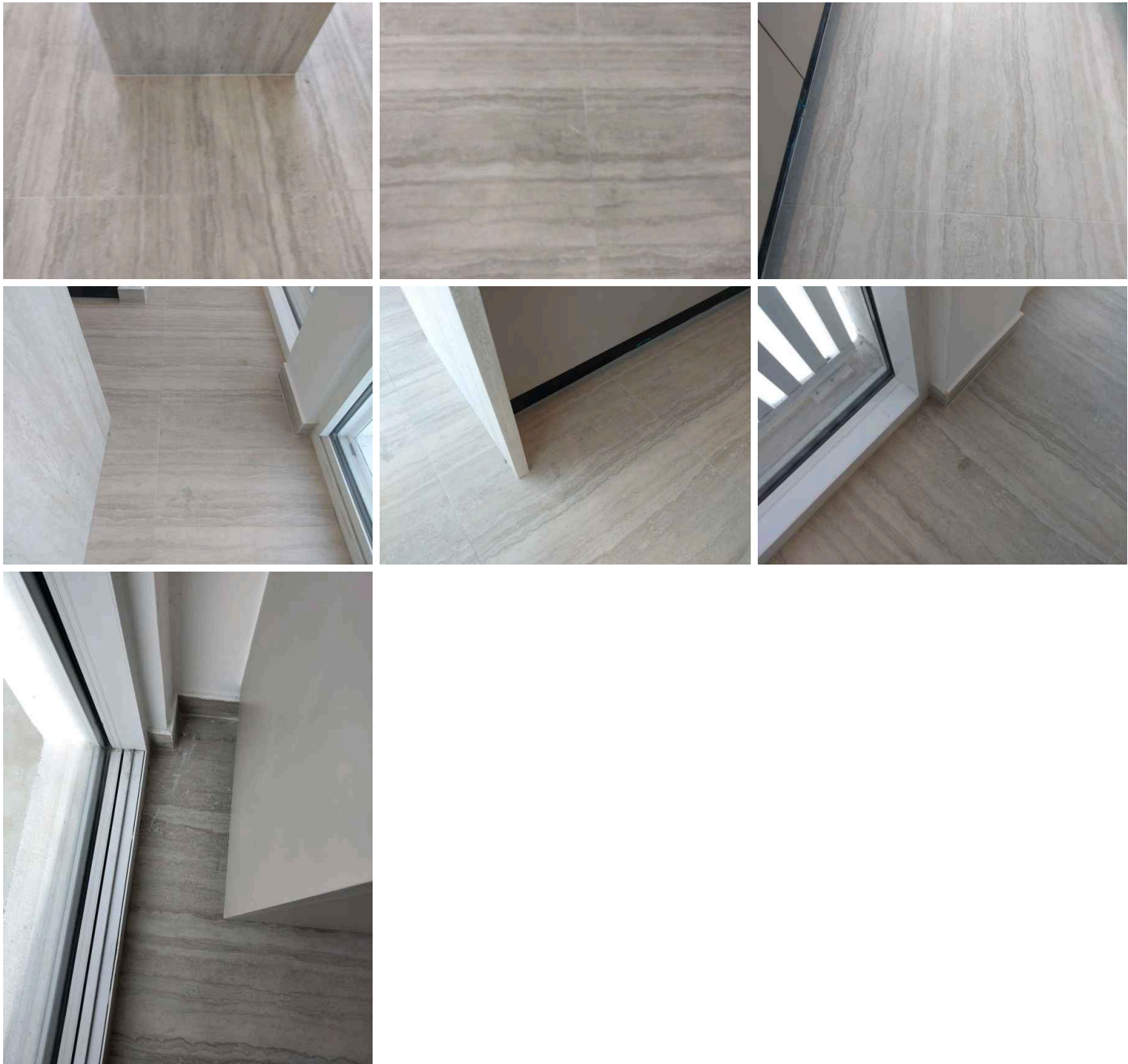


11.4.2 Floor

STAINING ISSUE

Floor shows visible stains affecting appearance and finish. Caused by spills, construction residue and improper cleaning. Requires proper cleaning or treatment to restore uniform look.

 Repair Needed



11.4.3 Floor

SKIRTING GAP ISSUES

 Immediate Action Needed

Gaps observed between skirting and wall floor due to poor filling. Affects finish and visual appearance. Requires proper fixing and sealing.

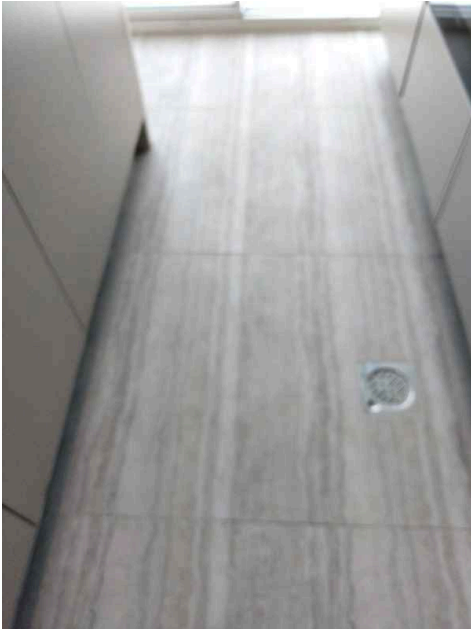


11.4.4 Floor

GROUTING COLOR VARIATION

 Repair Needed

Grout color is inconsistent across the floor, affecting uniformity and appearance. Indicates poor workmanship and improper material mixing. Requires cleaning, correction, or re-grouting for a consistent finish.



11.5.1 Lighting Fixtures, Switches & Receptacles

CONNECTION ISSUE

The socket switch are not functioning properly, Due to loose connections, faulty wiring, damaged components. Immediate repair are required to restore proper operation and ensure safety.

 Immediate Action Needed



11.5.2 Lighting Fixtures, Switches & Receptacles

 Repair Needed

SOCKET COVER NOT OPENING

Socket cover is not opening properly; adjustment or replacement required to ensure safe and proper access.

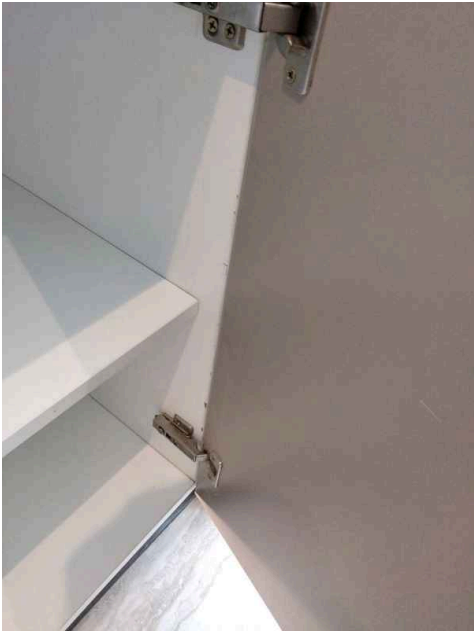


11.6.1 Cabinets

 Repair Needed

CHIPPING ISSUE

Cabinet surfaces show visible chips and damage. Affects appearance and finish quality. Requires repair or replacement of affected areas.

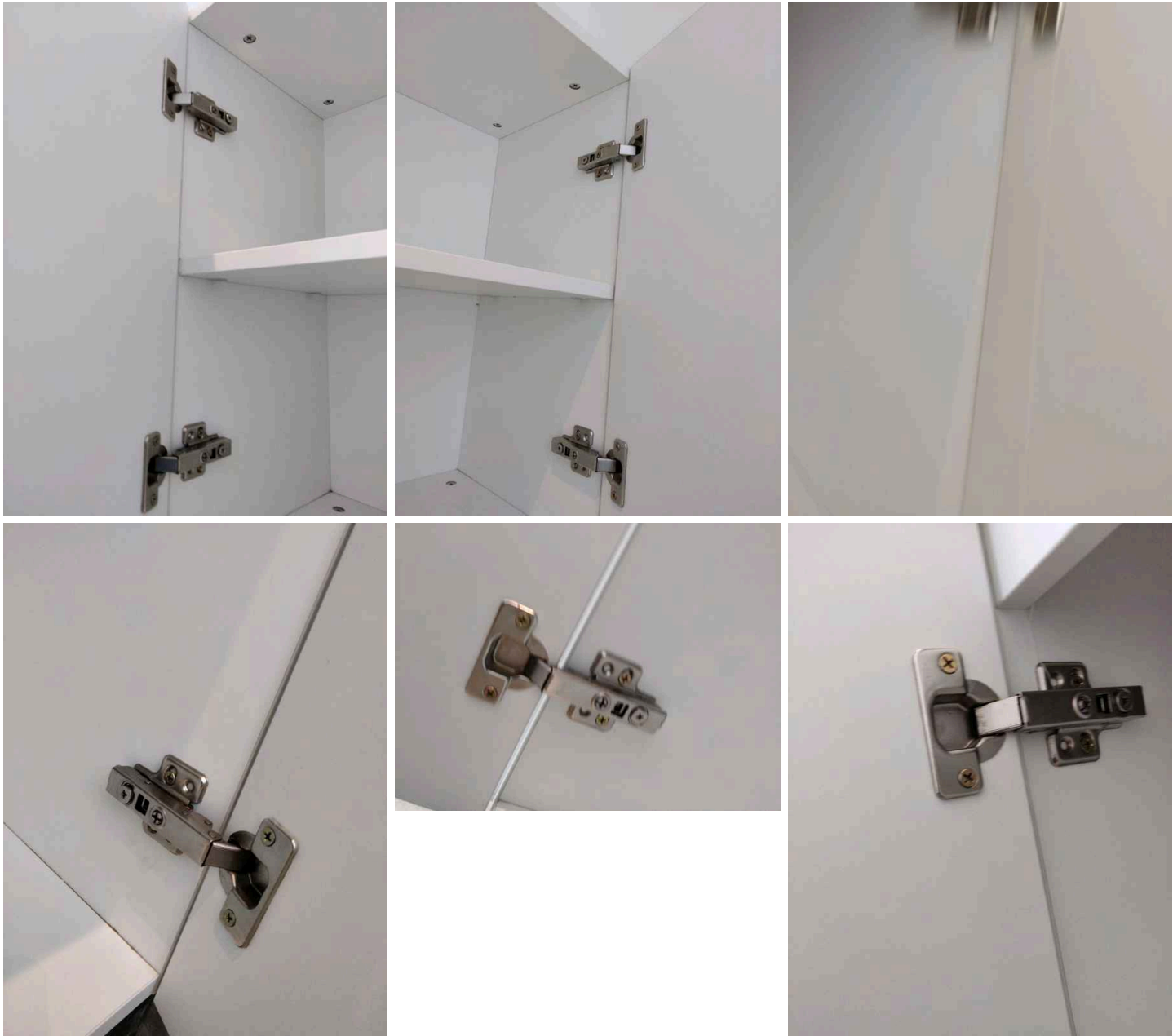


11.6.2 Cabinets

 Immediate Action Needed

HINGES SCREW MISSING

Cabinet hinges have missing screws, causing instability and poor functionality. Affects durability and safe operation. Requires proper replacement and tightening of screws.



11.6.3 Cabinets

CLEANING REQUIRED

 Repair Needed

Area is dirty and contaminated; thorough cleaning to be carried out to achieve acceptable finish and condition.





11.6.4 Cabinets

HINGES ALIGNMENT ISSUES

 Repair Needed

Hinges are misaligned, affecting smooth operation; alignment and fixing to be corrected to ensure proper door functionality.



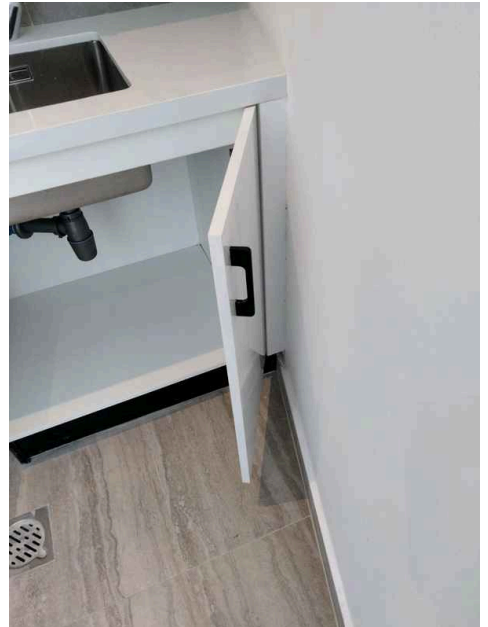
11.6.5 Cabinets

STOPPER MISSING

Cabinet door stopper is missing; suitable stopper to be supplied and installed to prevent impact damage and ensure controlled operation.



Repair Needed



11.8.1 Window

POWDER COATING ISSUES

Window powder coating is uneven, chipped and peeling. Affects appearance and surface protection. Requires re-coating and touch-up for proper finish.



Repair Needed

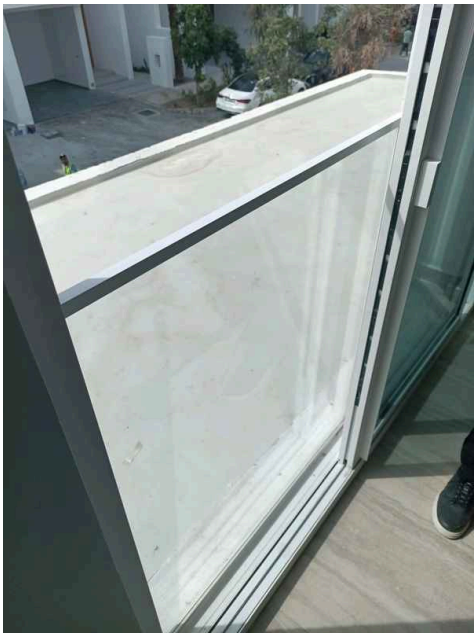


11.8.2 Window

REPLACE THE RAILLING WITH DOOR

 Repair Needed

Existing railing to be removed and replaced with a properly installed door as per approved drawings and safety requirements.

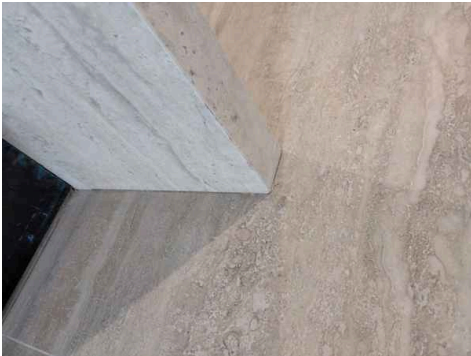


11.12.1 Counter top

POOR JOINT FINISHING ISSUE

 Repair Needed

Countertop joints show uneven finishing and filling. Affects appearance and surface quality. Requires proper filling and finishing for a smooth, uniform look.





11.13.1 Refrigerator

CLEANING REQUIRED

Repair Needed

The interior of the refrigerator shows signs of food debris, stains, and spills that need cleaning. The defrost drain and drip tray are blocked, leading to water accumulation. Additionally, the condenser coils are dirty, which may affect cooling efficiency.

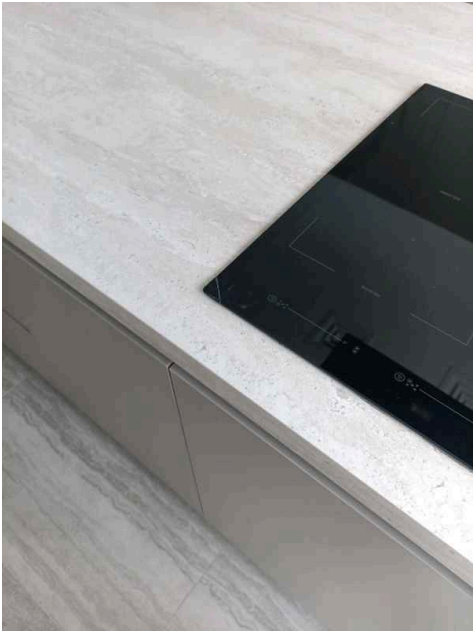


11.15.1 Burner

BROKEN

 Immediate Action Needed

Component found broken at the time of inspection; repair or replacement required to restore proper functionality and finish.



12: MASTER BEDROOM

		IN	NI	NP	D
12.1	General				
12.2	Door	X			
12.3	Ceiling	X			
12.4	Walls	X			
12.5	Floor	X			
12.6	Lighting Fixtures, Switches & Receptacles	X			
12.7	Cabinets	X			
12.8	Window	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

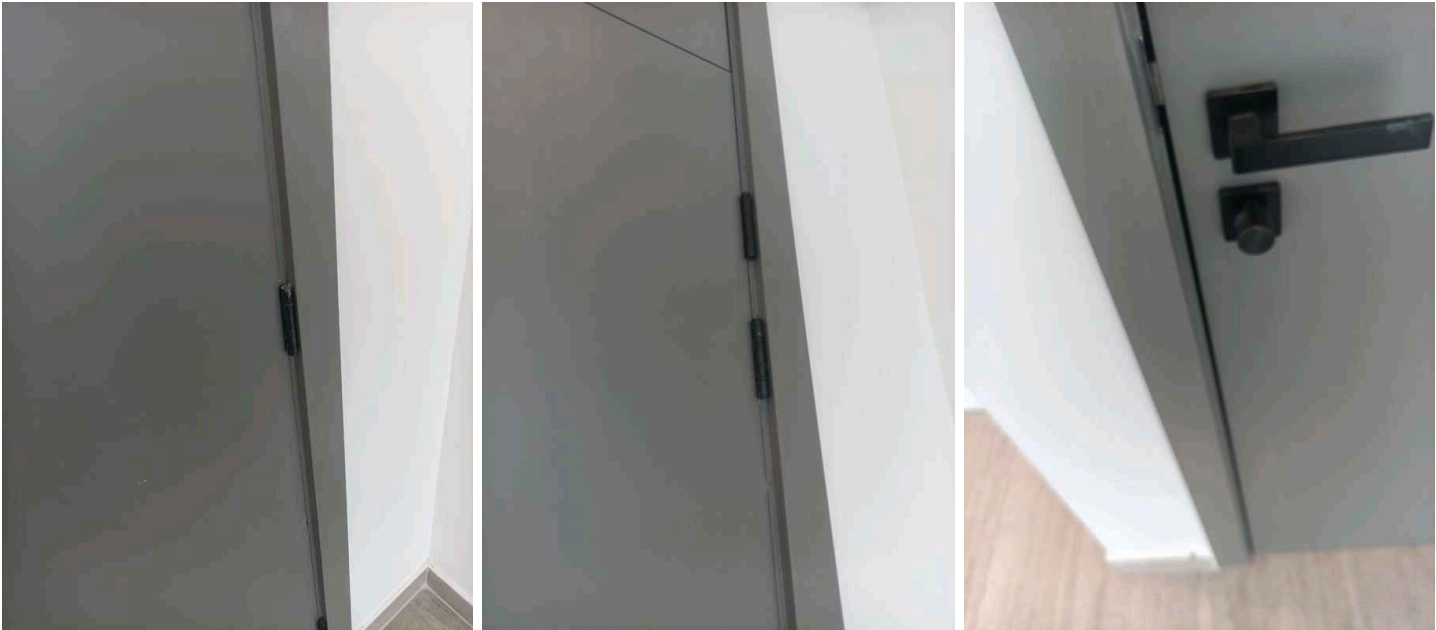
Observations

12.2.1 Door

Repair Needed

PAINT FINISHING ISSUE

Paint finishing is unsatisfactory at the affected area. Carry out surface preparation and apply final paint coats to achieve uniform color and proper finish.



12.2.2 Door

Repair Needed

CHIPPING ISSUE

Chipping observed on the affected surface finish. Repair or replace the damaged area and ensure proper finishing to restore acceptable appearance.

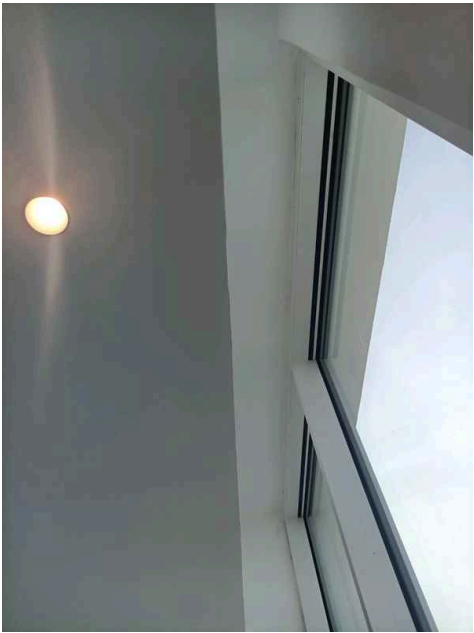
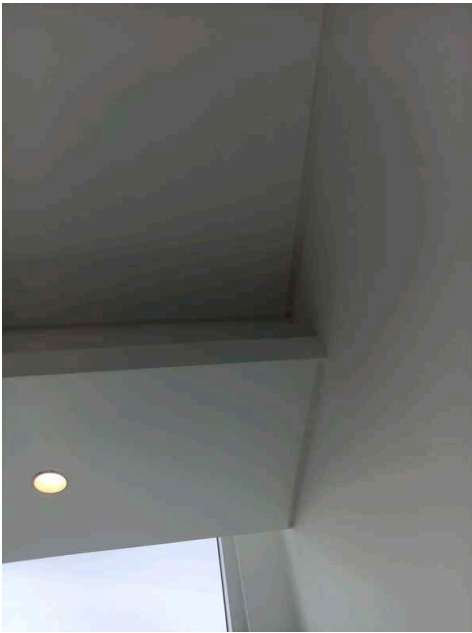
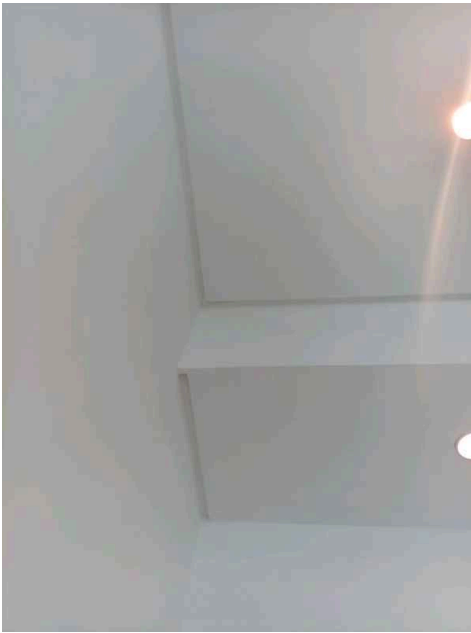


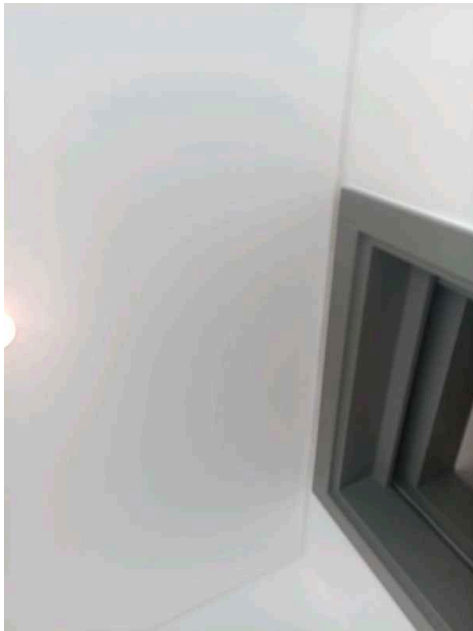
12.3.1 Ceiling

PAINT TOUCH-UP AND FINISHING ISSUE

 Repair Needed

The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. This can affect the overall aesthetic of the room. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.





12.4.1 Walls

PAINT TOUCH-UP AND FINISHING ISSUE

Repair Needed

The wall shows visible touch-up spots and uneven paint application, resulting in an inconsistent and patchy appearance. Edges and blending are poorly executed. Proper surface preparation and repainting are required for a seamless finish.



12.5.1 Floor

UNEVEN TILE LEVEL ISSUE

Repair Needed

Floor tiles are not uniformly leveled, resulting in height variations that create tripping hazards and a poor visual finish. This is often due to improper installation and subfloor irregularities. Reinstallation or leveling correction is needed for a smooth and safe surface.



12.5.2 Floor

GROUT MISSING

Floor areas have missing and incomplete grout between tiles. Creates gaps that affect appearance and may cause water ingress. Requires proper grouting to finish the surface.

 Repair Needed

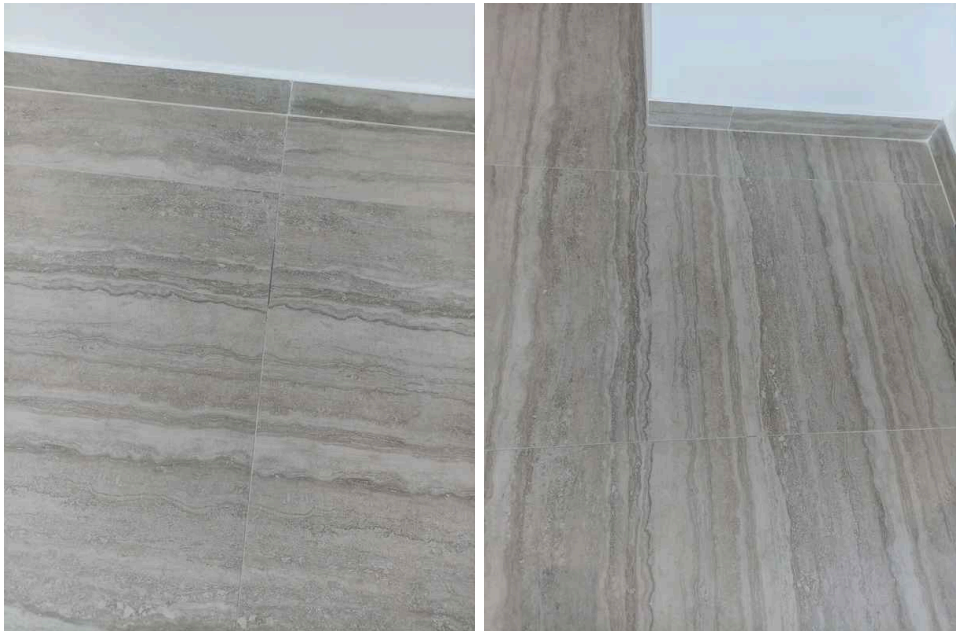


12.5.3 Floor

GROUTING COLOR VARIATION

Grout color is inconsistent across the floor, affecting uniformity and appearance. Indicates poor workmanship and improper material mixing. Requires cleaning, correction, or re-grouting for a consistent finish.

 Repair Needed



12.6.1 Lighting Fixtures, Switches & Receptacles

 Repair Needed

PAINT CLEANING REQUIRED

Paint stains observed on switch board; cleaning to be carried out carefully to restore neat appearance without affecting electrical components.



12.7.1 Cabinets

 Repair Needed

CHIPPING ISSUE

Cabinet surfaces show visible chips and damage. Affects appearance and finish quality. Requires repair or replacement of affected areas.



12.7.2 Cabinets

HANGER MISSING

 Immediate Action Needed

Required hanger is missing; suitable hanger to be supplied and securely installed as per approved specifications.



12.7.3 Cabinets

FILLING REQUIRED

 Repair Needed

Gaps and finishing defects observed on the cabinet; filling and proper finishing to be carried out to achieve a neat and acceptable appearance.

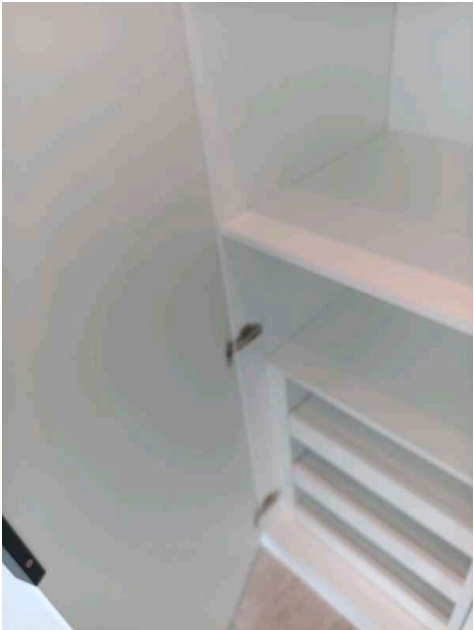


12.7.4 Cabinets

NEED TO BE MORE TIGHT HINGES

Hinges are loose and require tightening; fixings to be properly secured to ensure stable and smooth operation.

Repair Needed



12.8.1 Window

POWDER COATING ISSUES

Window powder coating is uneven, chipped and peeling. Affects appearance and surface protection. Requires re-coating and touch-up for proper finish.

Repair Needed



13: MASTER BATHROOM

		IN	NI	NP	D
13.1	General				
13.2	Door	X			
13.3	Ceiling	X			
13.4	Walls	X			
13.5	Floor	X			
13.6	Lighting Fixtures, Switches & Receptacles	X			
13.7	Cabinets	X			
13.8	Over the Ceilling	X			
13.9	Shower	X			
13.10	WC	X			
13.11	Bath tub			X	
13.12	Window			X	
13.13	Glass Separation	X			
13.14	Vanity	X			
13.15	Drain issue	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

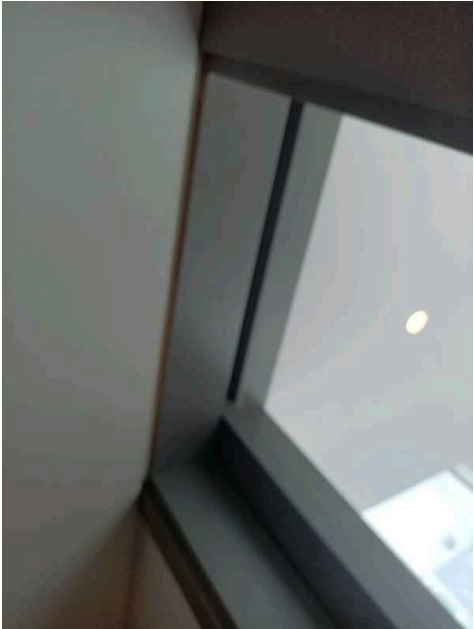
Observations

13.2.1 Door

PAINT FINISHING ISSUE

Paint finishing is unsatisfactory at the affected area. Carry out surface preparation and apply final paint coats to achieve uniform color and proper finish.

Repair Needed



13.2.2 Door

RUBBER SEAL ISSUE

The rubber seal is improperly installed, compromising its ability to provide an effective seal. This may result in air, water, or dust infiltration. Replacement or proper adjustment is needed to restore full functionality.

Repair Needed

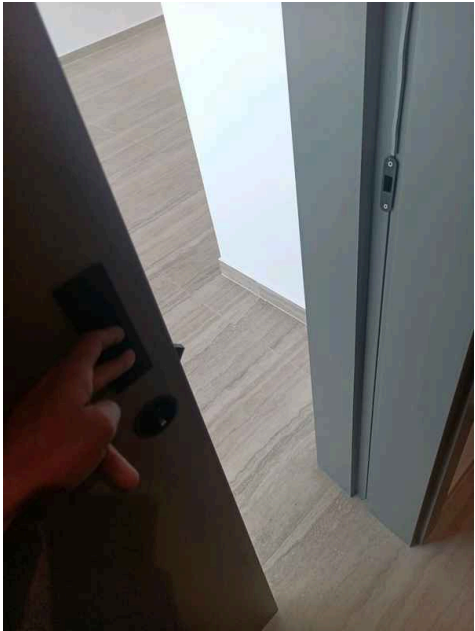


13.2.3 Door

LOCK ISSUE

Lock is not functioning properly; adjustment or replacement required to ensure smooth and secure operation.

 **Repair Needed**



13.3.1 Ceiling

PAINT TOUCH-UP AND FINISHING ISSUE

The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. This can affect the overall aesthetic of the room. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.

 **Repair Needed**



13.4.1 Walls

UNEVEN TILE LEVEL ISSUE

 Repair Needed

Wall tiles are not uniformly leveled, resulting in height variations that create tripping hazards and a poor visual finish. This is often due to improper installation and wall irregularities. Reinstallation or leveling correction is needed for a smooth and safe surface.



13.4.2 Walls

 Repair Needed**TILE CRACKS**

Cracks observed on tiles due to poor installation. Affects aesthetics and may worsen over time. Requires replacement or proper repair.



13.5.1 Floor

 Repair Needed**UNEVEN TILE LEVEL ISSUE**

Floor tiles are not uniformly leveled, resulting in height variations that create tripping hazards and a poor visual finish. This is often due to improper installation and subfloor irregularities. Reinstallation or leveling correction is needed for a smooth and safe surface.



13.6.1 Lighting Fixtures, Switches & Receptacles

 Immediate Action Needed**CONNECTION ISSUE**

The socket switch are not functioning properly, Due to loose connections, faulty wiring, damaged components. Immediate repair are required to restore proper operation and ensure safety.

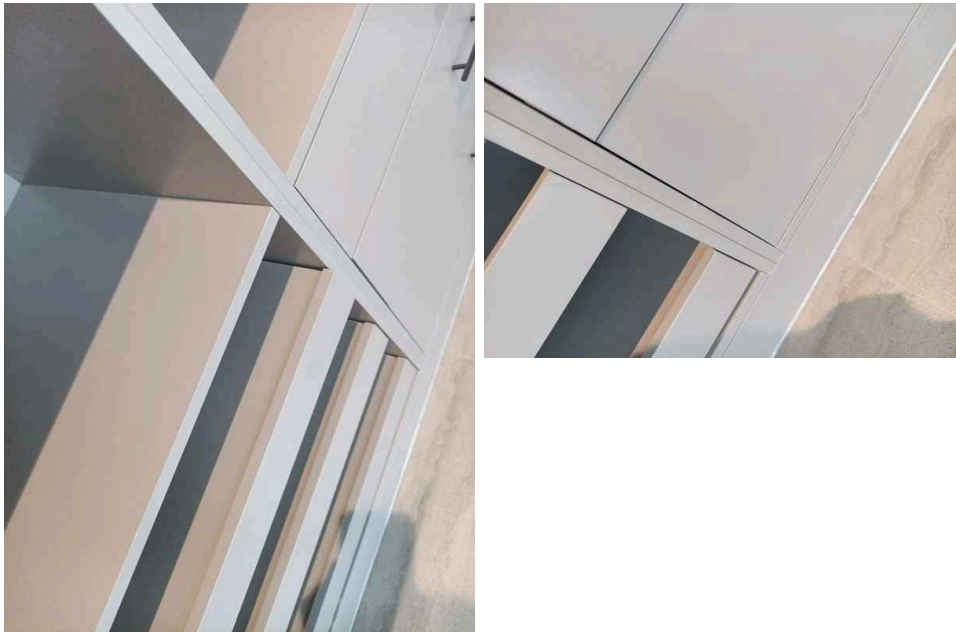


13.7.1 Cabinets

CHIPPING ISSUE

 Repair Needed

Cabinet surfaces show visible chips and damage. Affects appearance and finish quality. Requires repair or replacement of affected areas.



13.7.2 Cabinets

GAPS ISSUE

 Repair Needed

Gaps observed in cabinet installation; gaps to be properly filled, aligned, and finished to achieve a neat and acceptable appearance.



13.9.1 Shower

WATER LEAKAGE FROM SHOWER HEAD

Water leaks continuously from the joint of shower head when the valve is open, indicating faulty internal seals.

 Immediate Action Needed



13.10.1 WC

FLUSH NOT FUNCTIONING PROPERLY

Flush mechanism is weak, incomplete, or not operating, requiring adjustment or replacement.

 Repair Needed

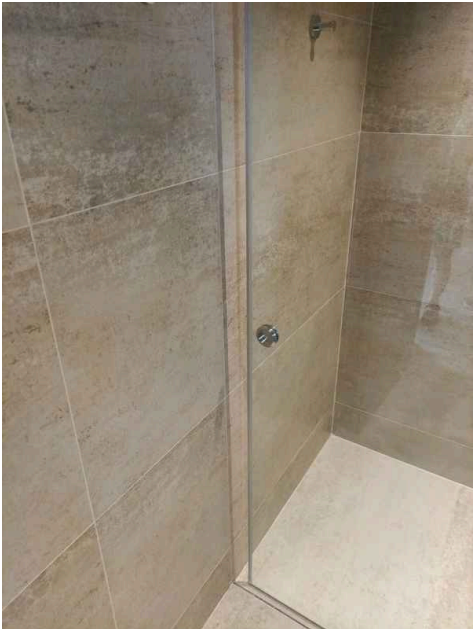


13.13.1 Glass Separation

GAP ISSUES

Gaps observed at glass partition joints; proper sealing and alignment to be carried out to ensure safety and neat finish.

 Repair Needed



13.14.1 Vanity

POOR FINISHING

Vanity surfaces show uneven finishing, rough edges and visible defects. Affects appearance and quality. Requires proper sanding, filling, and finishing.

 Repair Needed



13.14.2 Vanity

DRAINAGE BOBBING ISSUE

 Repair Needed

Hand wash basin drainage bobbing is improper. Affects functionality and safety. Requires proper fixing and support.

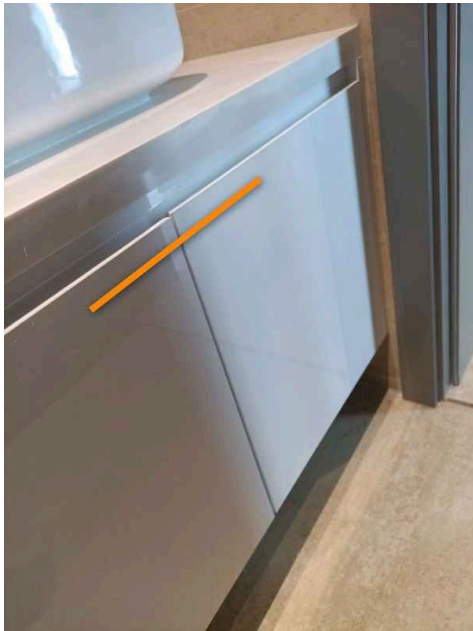


13.14.3 Vanity

ALIGNMENT ISSUE

 Repair Needed

Cabinet alignment is improper; adjustment and refixing required to ensure proper fit, smooth operation, and uniform appearance.



13.14.4 Vanity

NOT WORKING LIGHT

 Immediate Action Needed

Light fixture is not functioning at the time of inspection; electrical connection to be checked and repaired or replaced to restore proper operation.



14: BEDROOM 2

		IN	NI	NP	D
14.1	General				
14.2	Door	X			X
14.3	Ceiling	X			X
14.4	Walls	X			X
14.5	Floor	X			X
14.6	Lighting Fixtures, Switches & Receptacles	X			
14.7	Cabinets	X			X
14.8	Window	X			X
14.9	Ac thermostat iss	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Observations

14.2.1 Door

PAINT FINISHING ISSUE

Repair Needed

Paint finishing is unsatisfactory at the affected area. Carry out surface preparation and apply final paint coats to achieve uniform color and proper finish.



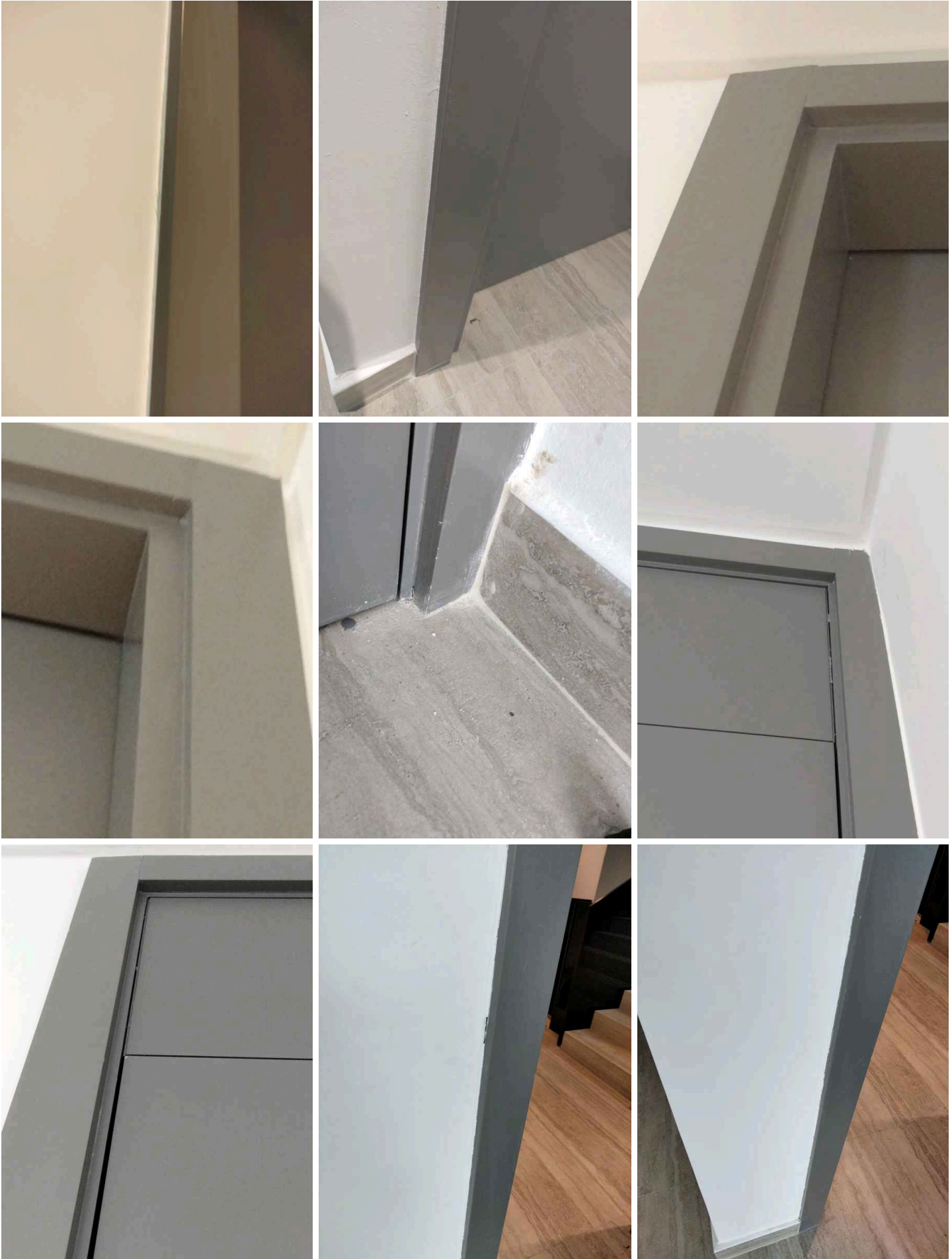


14.2.2 Door

FRAME GAP ISSUE

 Repair Needed

There is a visible gap between the frame and adjacent surface, indicating poor installation. This may lead to air and dust infiltration and affects the overall finish. Proper sealing or realignment is required to correct the defect.



14.2.3 Door

RUBBER SEAL ISSUE

Repair Needed

The rubber seal is improperly installed, compromising its ability to provide an effective seal. This may result in air, water, or dust infiltration. Replacement or proper adjustment is needed to restore full functionality.



14.3.1 Ceiling

PAINT TOUCH-UP AND FINISHING ISSUE

Repair Needed

The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. This can affect the overall aesthetic of the room. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.



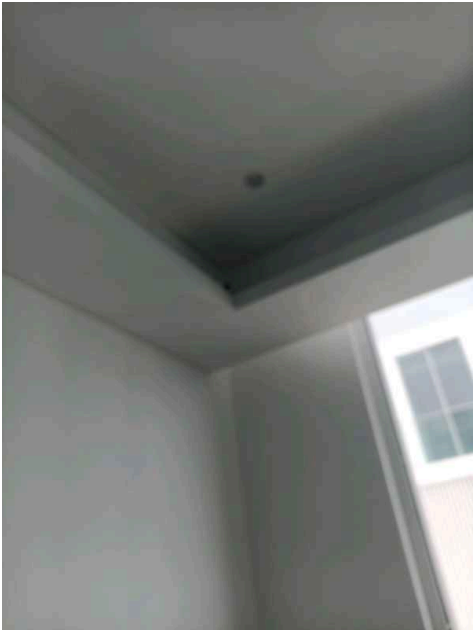


14.3.2 Ceiling

WIRE MANAGEMENT ISSUES

 Immediate Action Needed

Improper routing and securing of wires observed; cables to be neatly organized, secured, and managed in accordance with electrical safety standards.

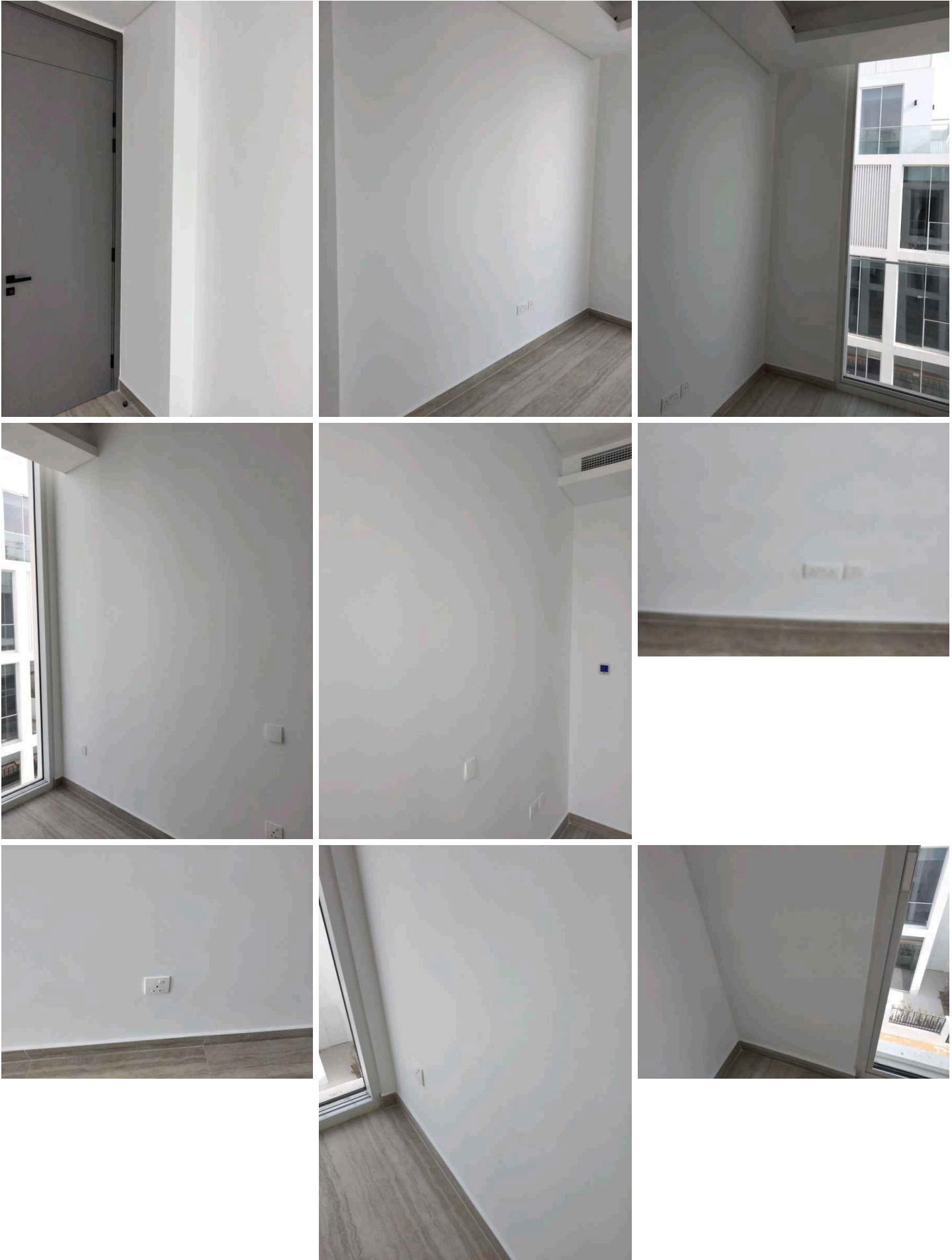


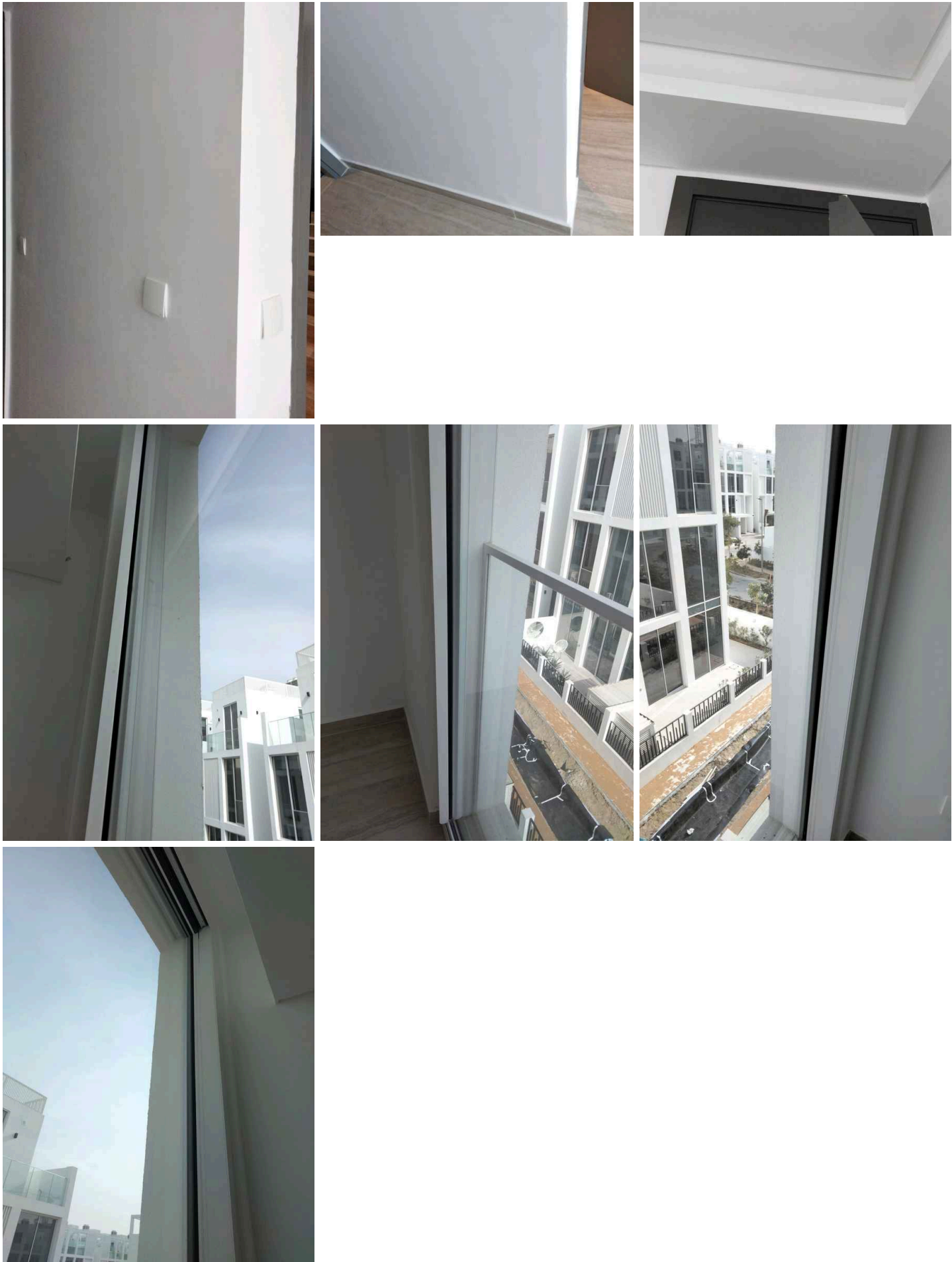
14.4.1 Walls

PAINT TOUCH-UP AND FINISHING ISSUE

 Repair Needed

The wall shows visible touch-up spots and uneven paint application, resulting in an inconsistent and patchy appearance. Edges and blending are poorly executed. Proper surface preparation and repainting are required for a seamless finish.





14.4.2 Walls

AC GRILL CLEANING REQUIRED

AC grille is dirty and requires thorough cleaning to ensure proper airflow and neat appearance.

Repair Needed



14.5.1 Floor

STAINING ISSUE

Floor shows visible stains affecting appearance and finish. Caused by spills, construction residue and improper cleaning. Requires proper cleaning or treatment to restore uniform look.

Repair Needed



14.5.2 Floor

SKIRTING GAP ISSUES

 Immediate Action Needed

Gaps observed between skirting and wall floor due to poor filling. Affects finish and visual appearance. Requires proper fixing and sealing.



14.5.3 Floor

GROUTING COLOR VARIATION

 Repair Needed

Grout color is inconsistent across the floor, affecting uniformity and appearance. Indicates poor workmanship and improper material mixing. Requires cleaning, correction, or re-grouting for a consistent finish.



14.6.1 Lighting Fixtures, Switches & Receptacles

EXPOSED WIRES ISSUES

Exposed electrical wiring observed; wiring to be properly insulated, secured, and concealed to comply with safety standards.

 Immediate Action Needed



14.6.2 Lighting Fixtures, Switches & Receptacles

CLEANING REQUIRED SOCKET SWITCHES

Sockets and switches are dirty or stained; proper cleaning to be carried out to restore neat appearance and safe operation.

 Repair Needed



14.7.1 Cabinets

CLEANING REQUIRED

Repair Needed

Cabinet surfaces are dirty or stained; thorough cleaning to be carried out to achieve acceptable finish and appearance.

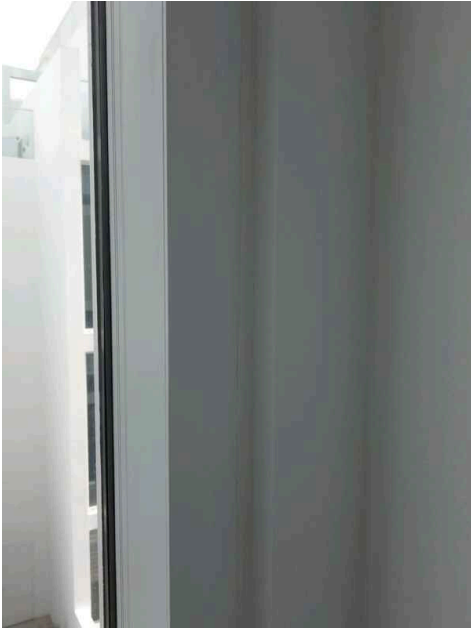
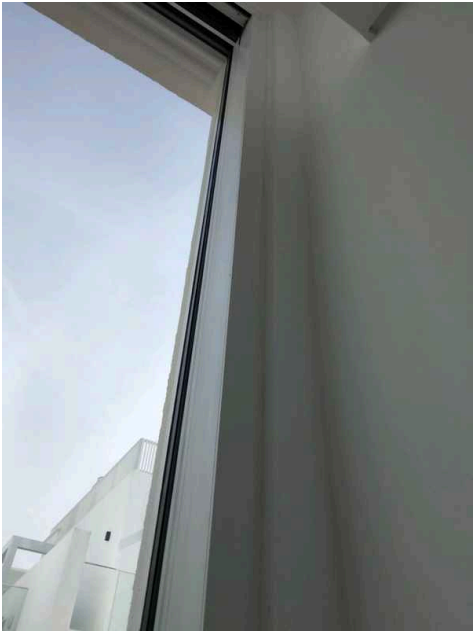


14.8.1 Window

RUBBER SEALANT ISSUE

Repair Needed

Window rubber sealant is damaged and improperly applied. Causes air and heat penetration, affecting performance. Requires replacement or proper sealing.



14.8.2 Window

GLASS SCRATCHES ISSUE

 Repair Needed

Window glass shows visible scratches affecting appearance. May compromise clarity and finish quality. Requires polishing or glass replacement.

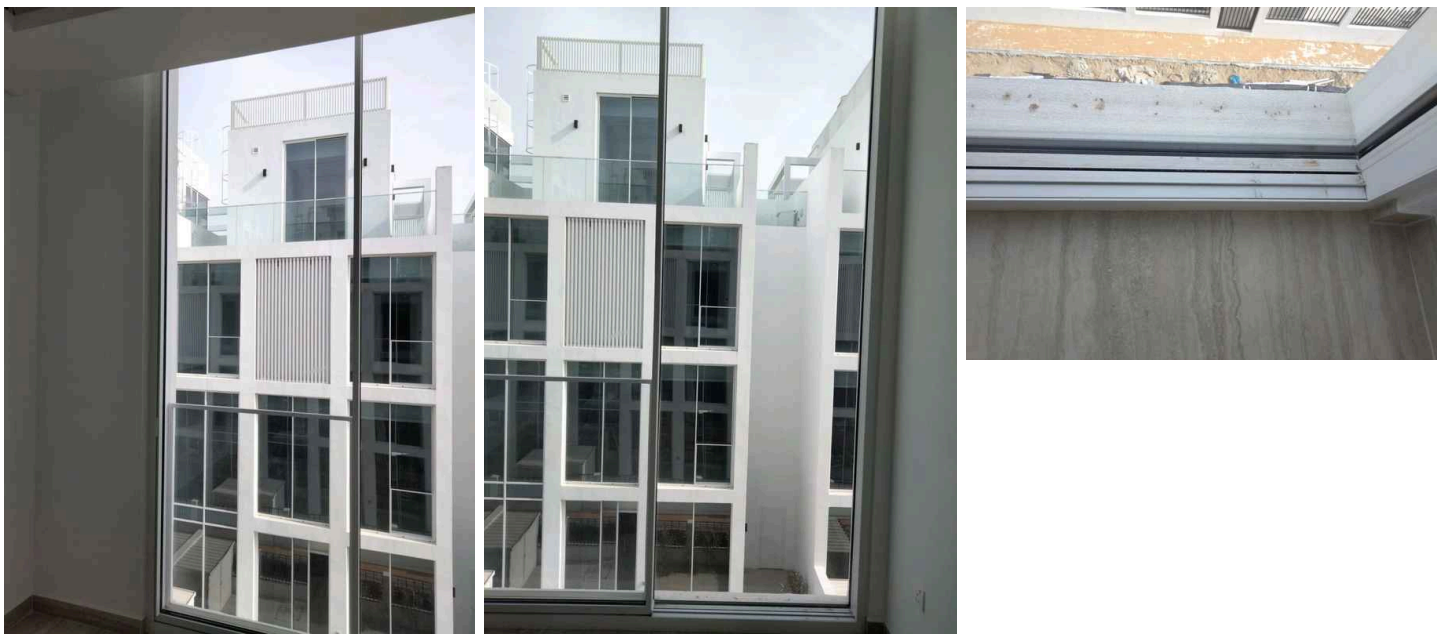


14.8.3 Window

DEEP CLEANING REQUIRED

 Repair Needed

Windows have accumulated dirt, dust and construction residue. Affects appearance and clarity. Requires thorough cleaning to restore proper finish.





14.9.1 Ac thermostat iss

TOUCH SENSOR IS LOOSE

Thermostat touch sensor is loose; fixing to be secured and functionality to be checked to ensure proper operation.

 Repair Needed



15: BATHROOM 2

		IN	NI	NP	D
15.1	General				
15.2	Door	X			X
15.3	Ceiling	X			X
15.4	Walls	X			X
15.5	Floor	X			X
15.6	Lighting Fixtures, Switches & Receptacles	X			
15.7	Cabinets	X			X
15.8	Over the Ceilling				
15.9	Shower	X			
15.10	WC	X			
15.11	Bath tub			X	
15.12	Window			X	
15.13	Glass Separation	X			X
15.14	Vanity	X			X
15.15	Drain issue				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Observations

15.2.1 Door

 Repair Needed

PAINT FINISHING ISSUE

Paint finishing is unsatisfactory at the affected area. Carry out surface preparation and apply final paint coats to achieve uniform color and proper finish.





15.2.2 Door

HINGES AND EXCESS LUBRICATION ISSUE

 Repair Needed

Door hinges issues. Excessive lubrication is present, leading to visible stains and attracting dust. Adjustment and proper cleaning are required for smooth and clean operation.



15.2.3 Door

RUBBER SEAL ISSUE

Repair Needed

The rubber seal is improperly installed, compromising its ability to provide an effective seal. This may result in air, water, or dust infiltration. Replacement or proper adjustment is needed to restore full functionality.

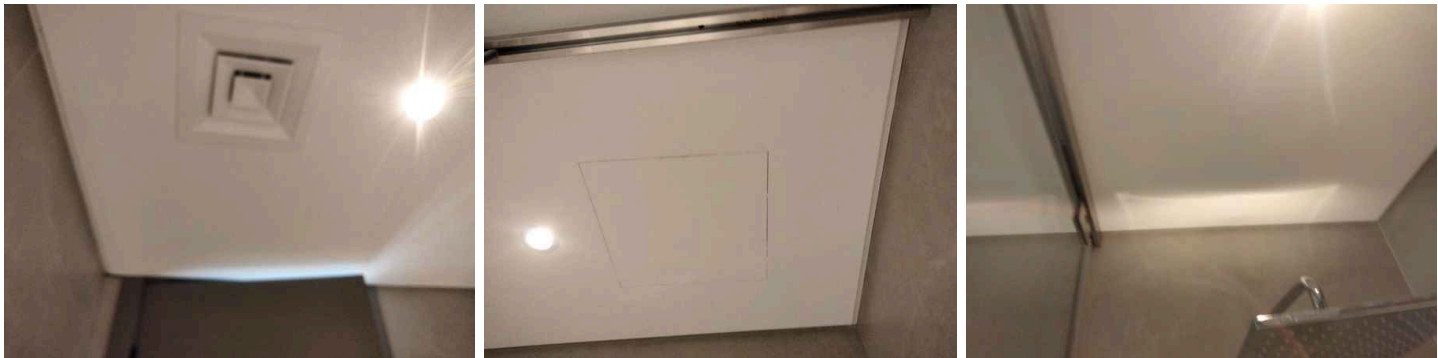


15.3.1 Ceiling

PAINT TOUCH-UP AND FINISHING ISSUE

Repair Needed

The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. This can affect the overall aesthetic of the room. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.





15.4.1 Walls

PAINT TOUCH-UP AND FINISHING ISSUE

The wall shows visible touch-up spots and uneven paint application, resulting in an inconsistent and patchy appearance. Edges and blending are poorly executed. Proper surface preparation and repainting are required for a seamless finish.



Repair Needed



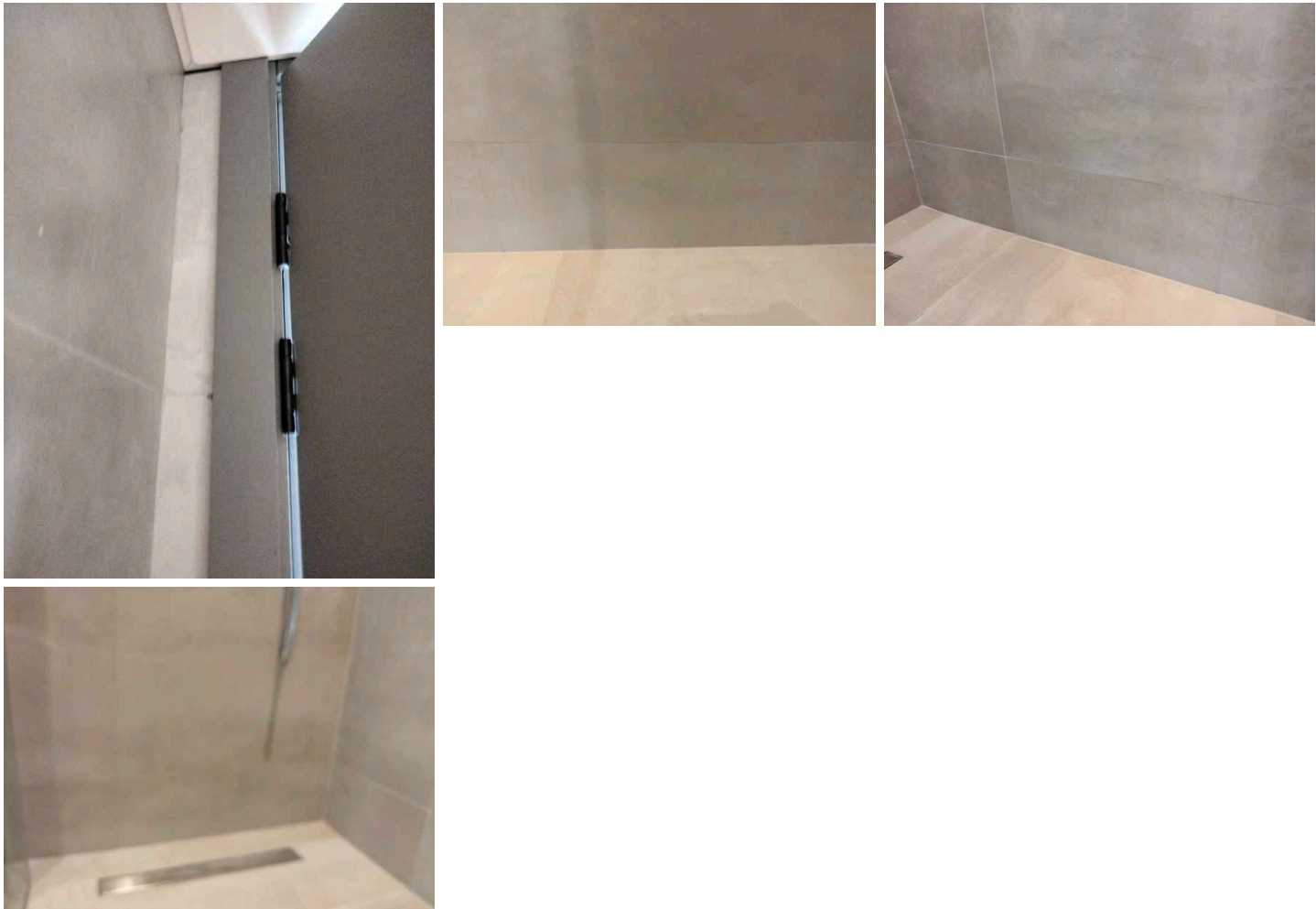
15.4.2 Walls

UNEVEN TILE LEVEL ISSUE

Wall tiles are not uniformly leveled, resulting in height variations that create tripping hazards and a poor visual finish. This is often due to improper installation and wall irregularities. Reinstallation or leveling correction is needed for a smooth and safe surface.



Repair Needed

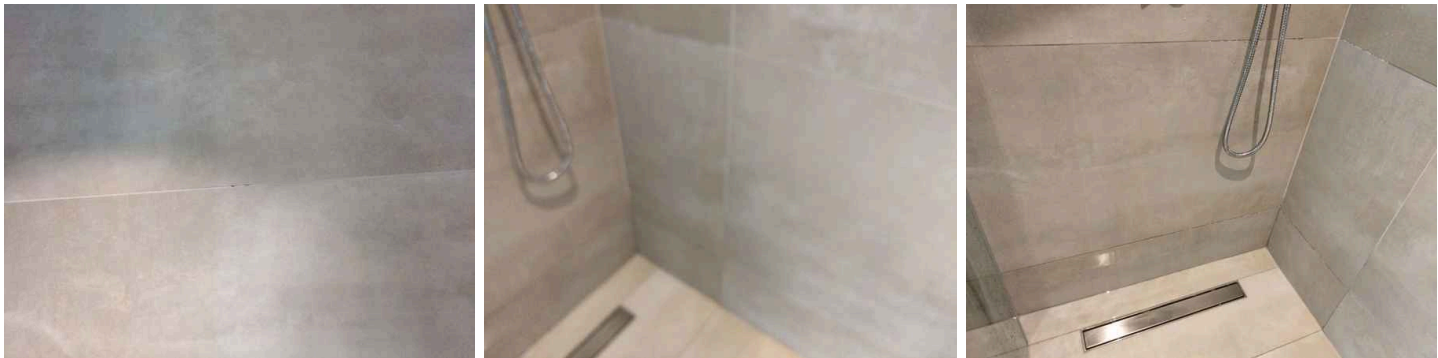


15.4.3 Walls

GROUT MISSING

 Repair Needed

wall areas have missing and incomplete grout between tiles. Creates gaps that affect appearance and may cause water ingress. Requires proper grouting to finish the surface.



15.4.4 Walls

STAIN ISSUES

 Repair Needed

Stains observed on surfaces; affected areas to be properly cleaned or treated to restore acceptable appearance.



15.5.1 Floor

STAINING ISSUE

 Repair Needed

Floor shows visible stains affecting appearance and finish. Caused by spills, construction residue and improper cleaning. Requires proper cleaning or treatment to restore uniform look.



15.5.2 Floor

GROUTING COLOR VARIATION

 Repair Needed

Grout color is inconsistent across the floor, affecting uniformity and appearance. Indicates poor workmanship and improper material mixing. Requires cleaning, correction, or re-grouting for a consistent finish.

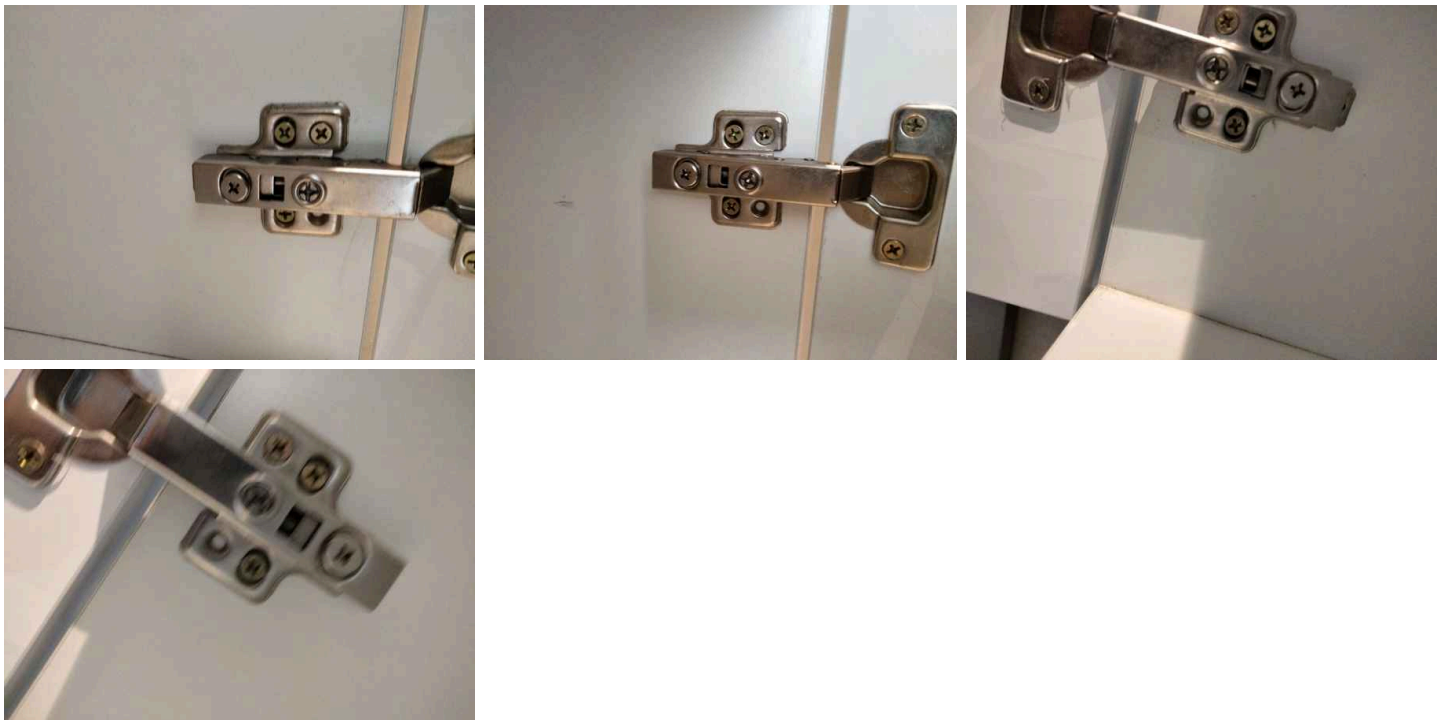


15.7.1 Cabinets

HINGES SCREW MISSING

⚠ Immediate Action Needed

Cabinet hinges have missing screws, causing instability and poor functionality. Affects durability and safe operation. Requires proper replacement and tightening of screws.

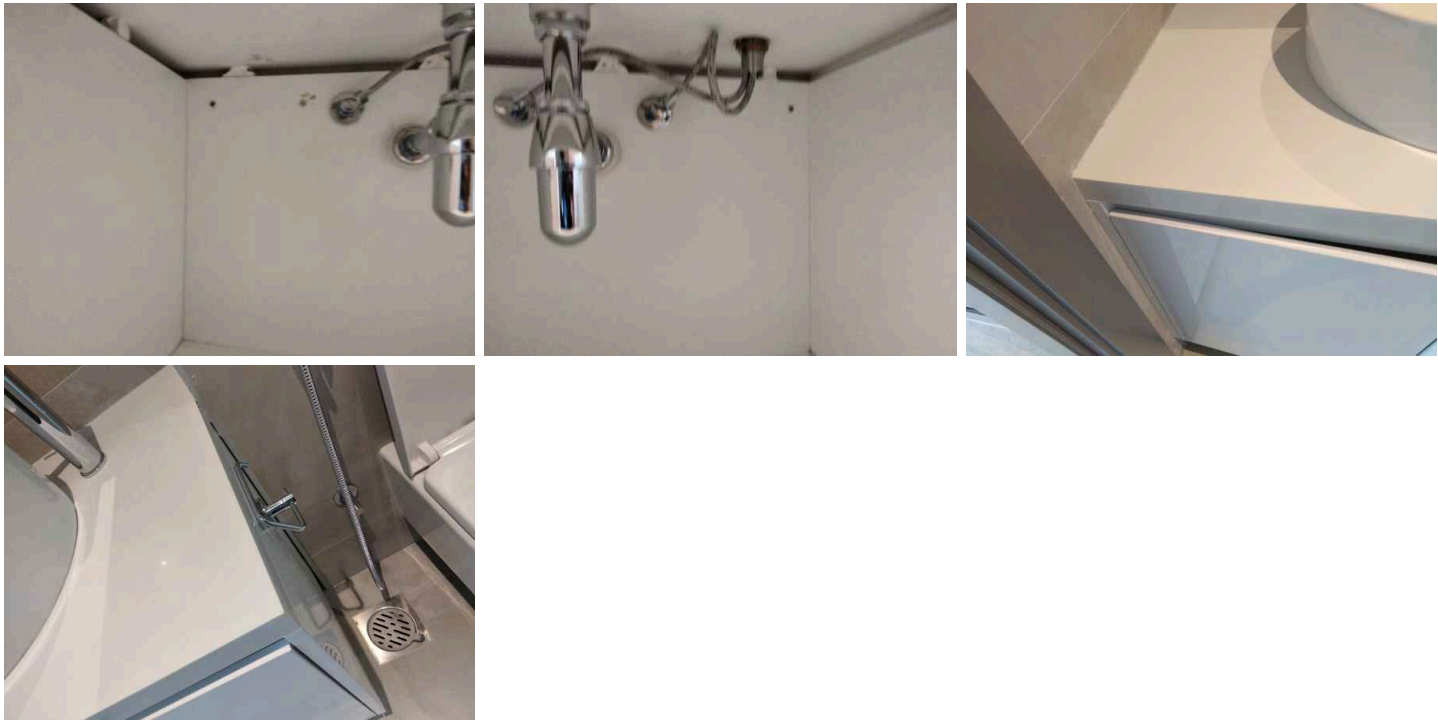


15.7.2 Cabinets

CLEANING AND FINISHING ISSUES

➖ Repair Needed

Cabinet shows cleaning and finishing defects; thorough cleaning and finishing rectification to be carried out to achieve acceptable workmanship.



15.13.1 Glass Separation

EXTRA GAP ISSUE

Repair Needed

Excessive gaps observed at glass separation joints; alignment and sealing to be corrected to ensure safety and proper finish.



15.14.1 Vanity

POOR FINISHING

Repair Needed

Vanity surfaces show uneven finishing, rough edges and visible defects. Affects appearance and quality. Requires proper sanding, filling, and finishing.



16: BEDROOM 3

		IN	NI	NP	D
16.1	General				
16.2	Door	X			X
16.3	Ceiling	X			X
16.4	Walls	X			X
16.5	Floor	X			X
16.6	Lighting Fixtures, Switches & Receptacles	X			
16.7	Cabinets	X			X
16.8	Window	X			X

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Observations

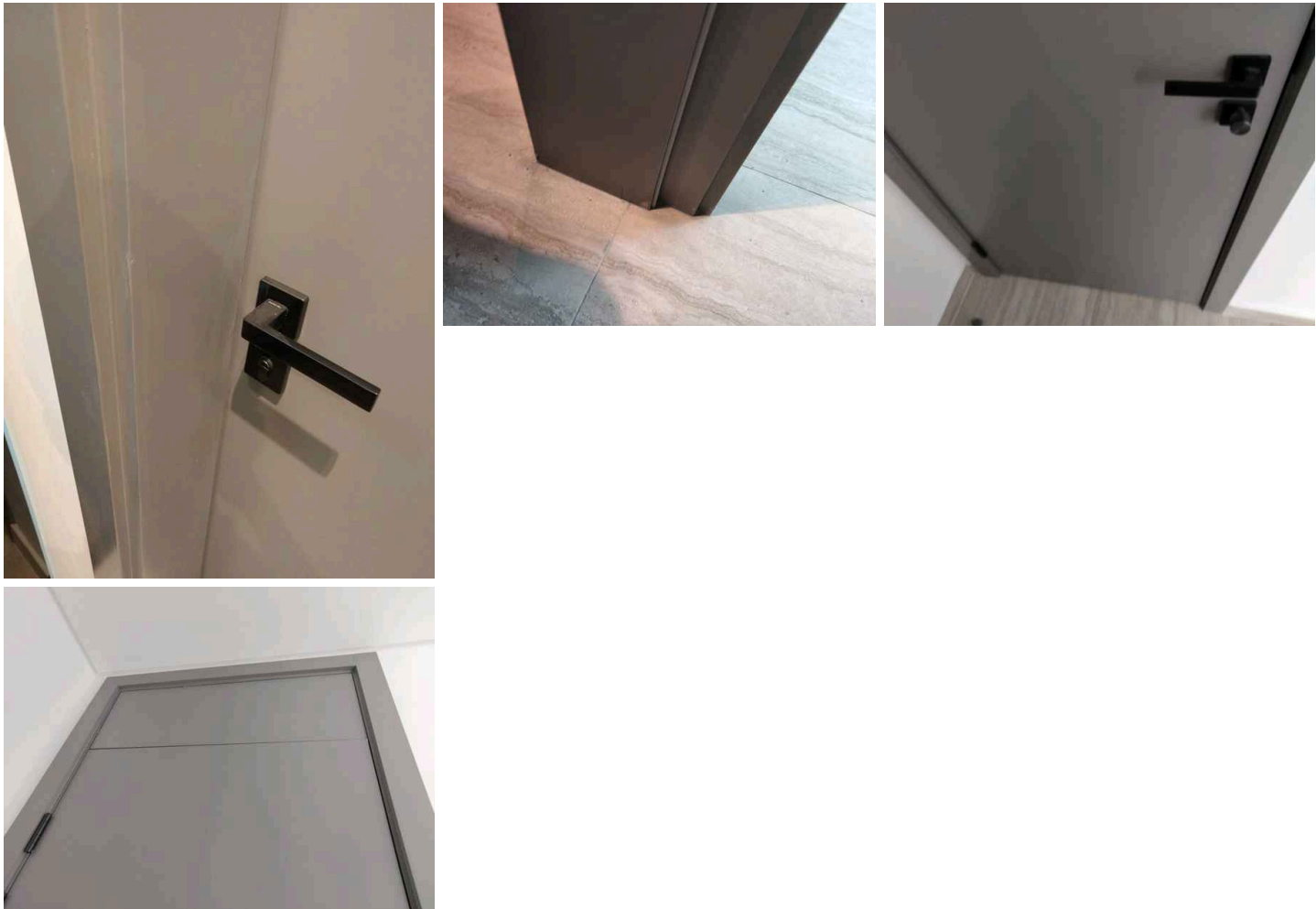
16.2.1 Door

PAINT FINISHING ISSUE

 Repair Needed

Paint finishing is unsatisfactory at the affected area. Carry out surface preparation and apply final paint coats to achieve uniform color and proper finish.



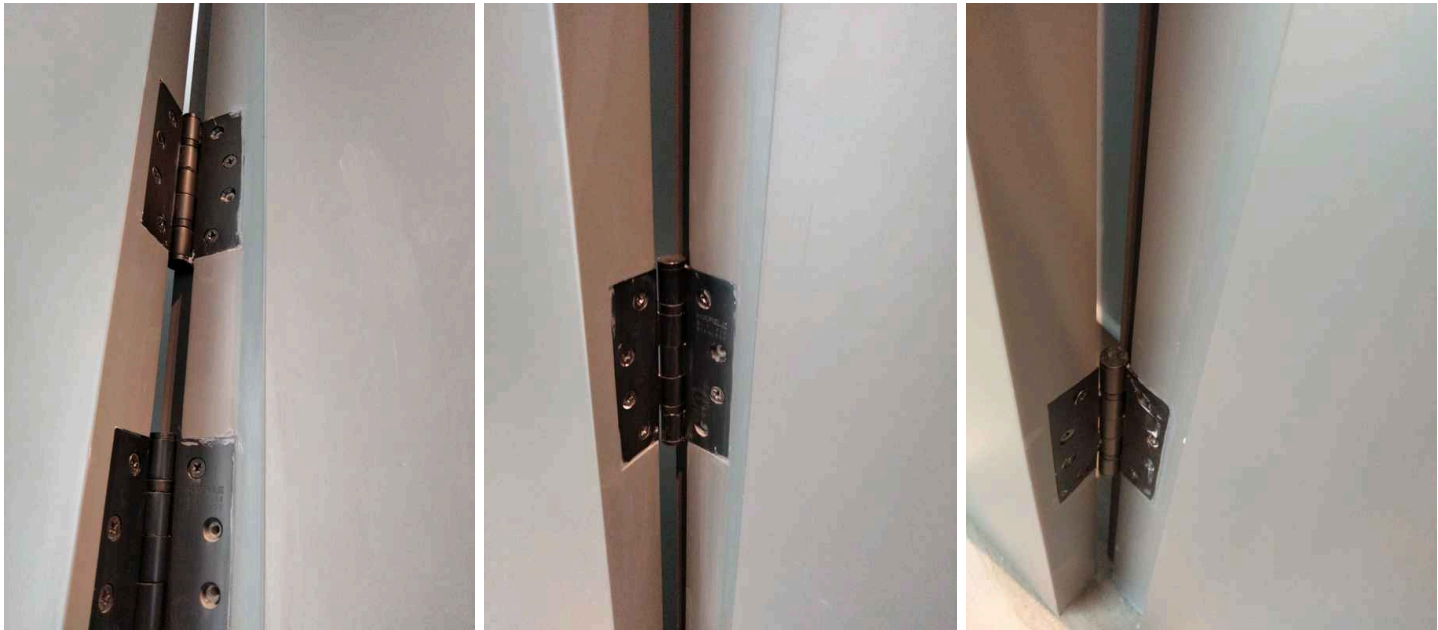


16.2.2 Door

HINGES AND EXCESS LUBRICATION ISSUE

 Repair Needed

Door hinges issues. Excessive lubrication is present, leading to visible stains and attracting dust. Adjustment and proper cleaning are required for smooth and clean operation.



16.2.3 Door

RUBBER SEAL ISSUE**Immediate Action Needed**

The rubber seal is improperly installed, compromising its ability to provide an effective seal. This may result in air, water, or dust infiltration.

Replacement or proper adjustment is needed to restore full functionality.



16.2.4 Door

HINGES SCREW MISSING**Immediate Action Needed**

Screws are missing from the door hinges, which reduces stability and may cause the door to sag and become difficult to operate. If left unattended, this could lead to further hinge damage or compromise safety.

Replacement and secure tightening of all hinge screws are required to ensure proper functionality.



16.3.1 Ceiling

PAINT TOUCH-UP AND FINISHING ISSUE

Repair Needed

The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. This can affect the overall aesthetic of the room. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.

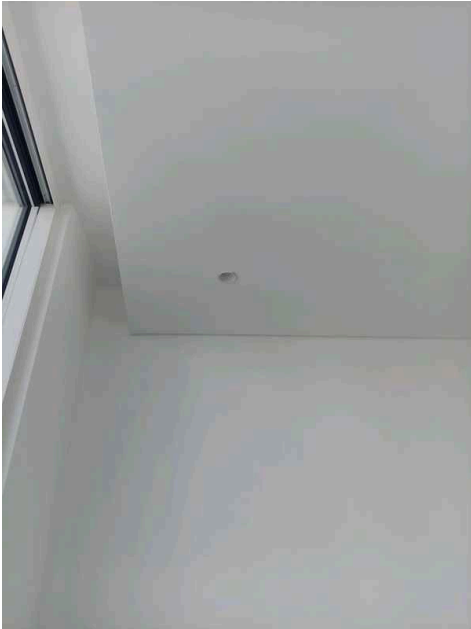


16.3.2 Ceiling

LIGHT LEVEL ISSUE

Immediate Action Needed

Light fixture level is uneven; alignment to be corrected to ensure proper installation and uniform appearance.

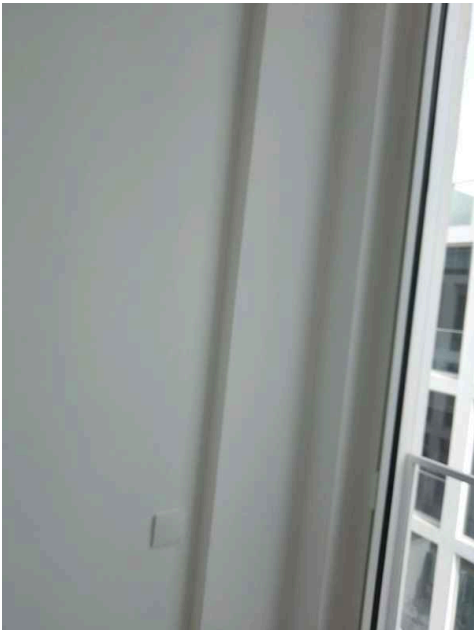


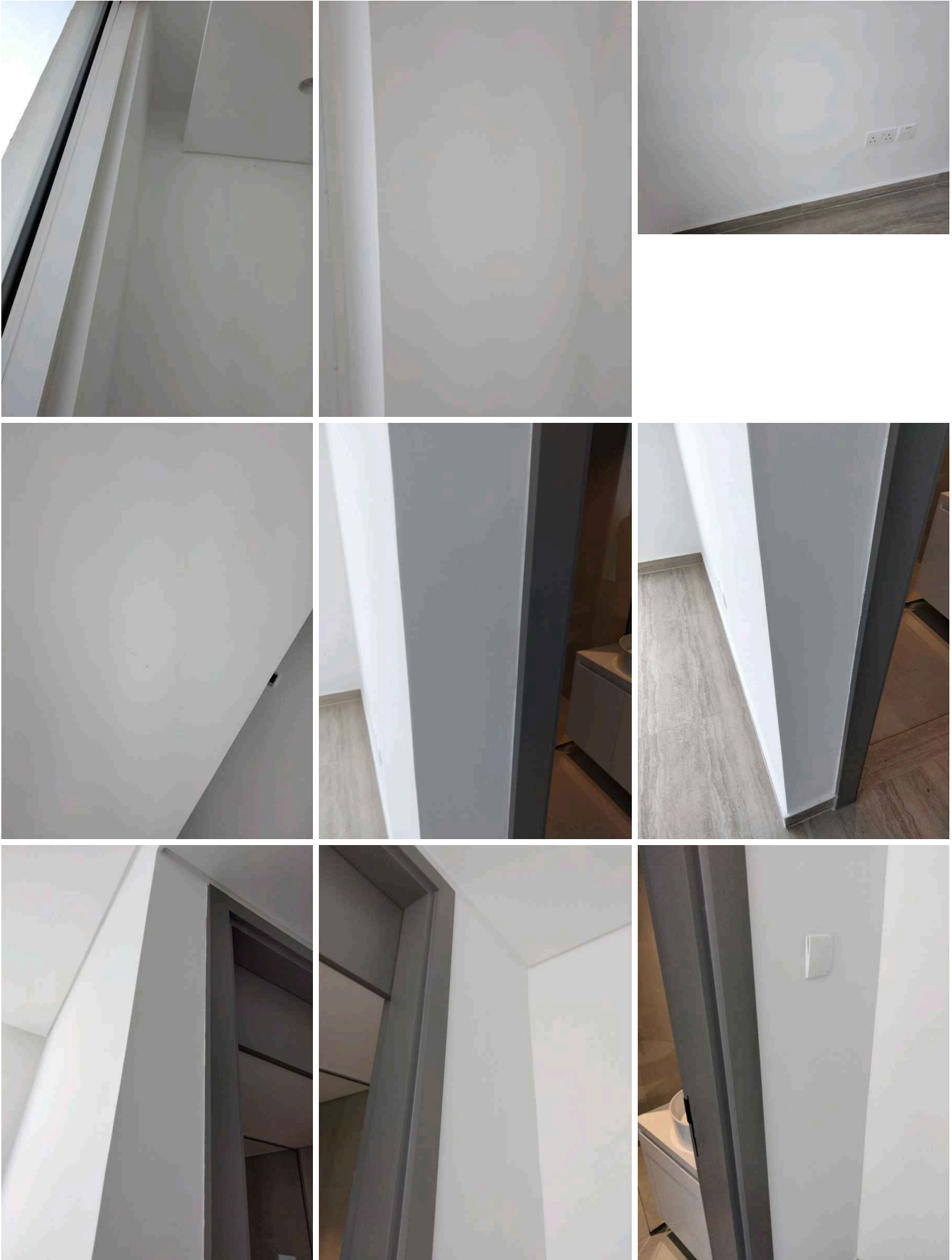
16.4.1 Walls

PAINT TOUCH-UP AND FINISHING ISSUE

Repair Needed

The wall shows visible touch-up spots and uneven paint application, resulting in an inconsistent and patchy appearance. Edges and blending are poorly executed. Proper surface preparation and repainting are required for a seamless finish.







16.5.1 Floor

STAINING ISSUE

Repair Needed

Floor shows visible stains affecting appearance and finish. Caused by spills, construction residue and improper cleaning. Requires proper cleaning or treatment to restore uniform look.



16.5.2 Floor

SKIRTING GAP ISSUES

Immediate Action Needed

Gaps observed between skirting and wall floor due to poor filling. Affects finish and visual appearance. Requires proper fixing and sealing.



16.5.3 Floor

GROUTING COLOR VARIATION

 Repair Needed

Grout color is inconsistent across the floor, affecting uniformity and appearance. Indicates poor workmanship and improper material mixing. Requires cleaning, correction, or re-grouting for a consistent finish.

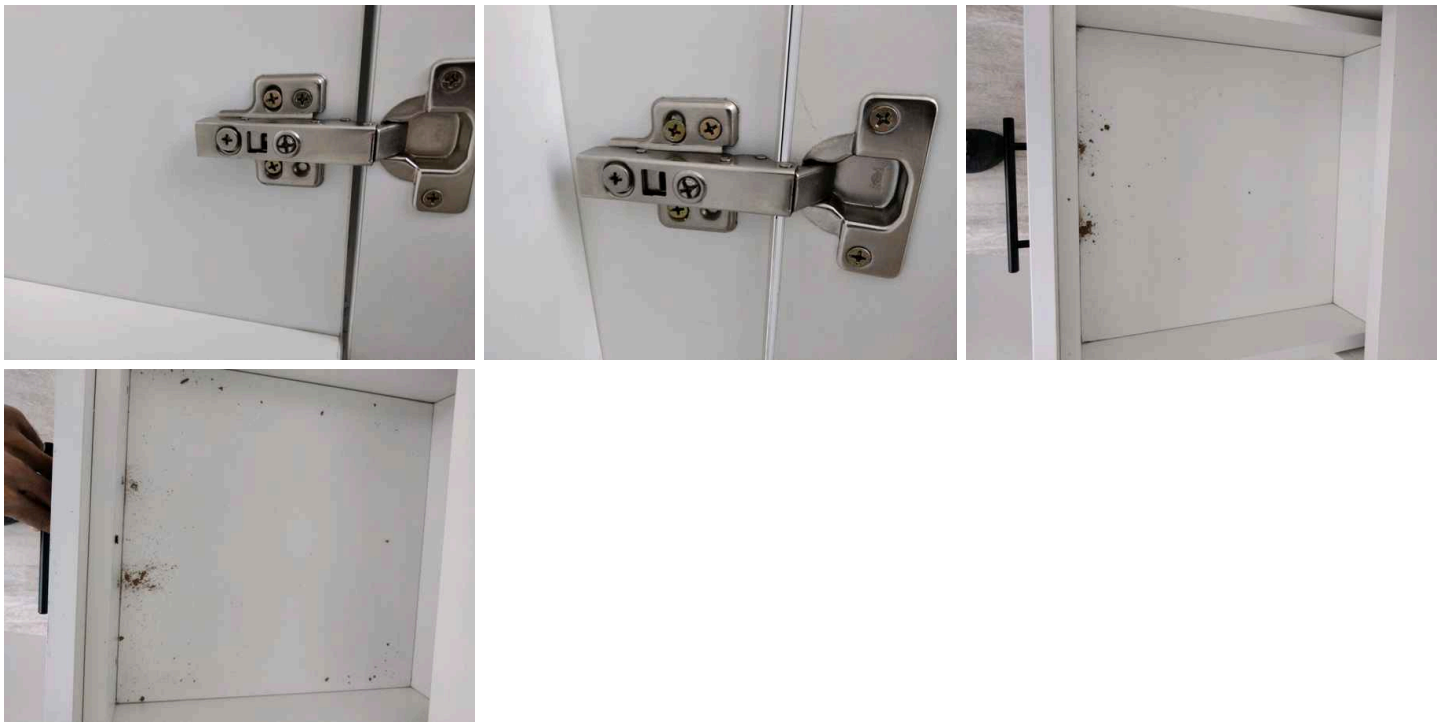


16.7.1 Cabinets

HINGES SCREW MISSING

 Immediate Action Needed

Cabinet hinges have missing screws, causing instability and poor functionality. Affects durability and safe operation. Requires proper replacement and tightening of screws.



16.7.2 Cabinets

PAINT FINISHING ISSUES

 Repair Needed

Cabinet paint shows uneven coverage, streaks and peeling. Affects appearance and finish quality. Requires sanding and proper repainting.

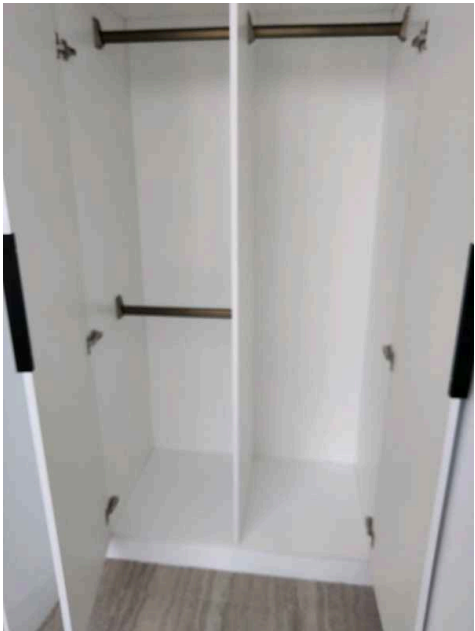


16.7.3 Cabinets

CLEANING AND SILICON FINISHING REQUIRED

Repair Needed

Cabinet requires cleaning and proper silicone finishing; sealing to be applied neatly to achieve a clean and finished appearance.

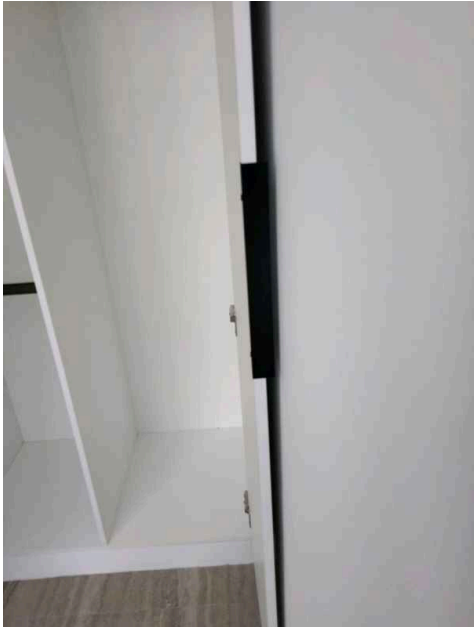


16.7.4 Cabinets

STOPPER MISSING

 Immediate Action Needed

Cabinet door stopper is missing; suitable stopper to be supplied and installed to prevent impact damage and ensure controlled operation.

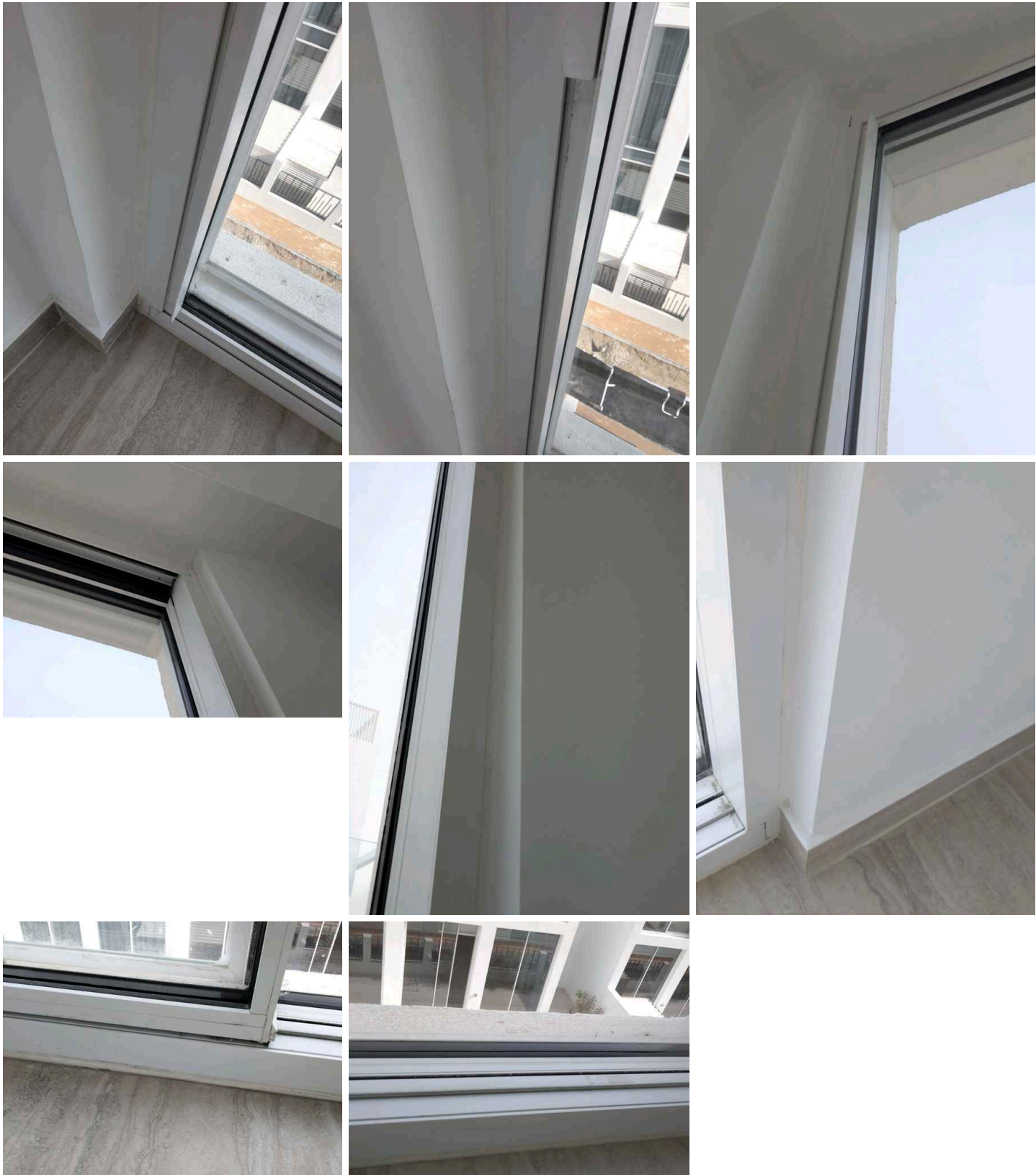


16.8.1 Window

RUBBER SEALANT ISSUE

 Repair Needed

Window rubber sealant is damaged and improperly applied. Causes air and heat penetration, affecting performance. Requires replacement or proper sealing.

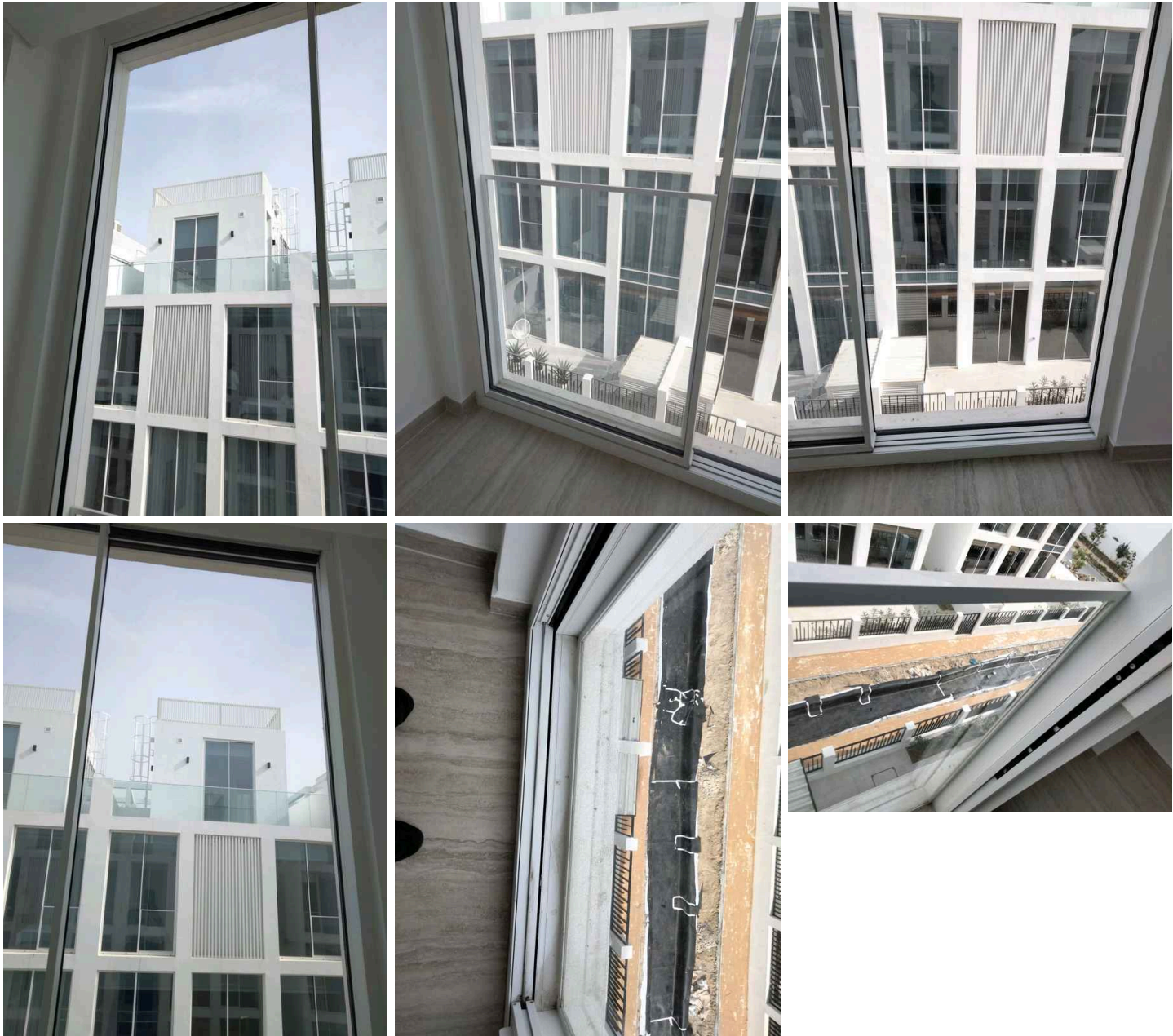


16.8.2 Window

DEEP CLEANING REQUIRED

Repair Needed

Windows have accumulated dirt, dust and construction residue. Affects appearance and clarity. Requires thorough cleaning to restore proper finish.



17: BATHROOM 3

		IN	NI	NP	D
17.1	General				
17.2	Door	X			X
17.3	Ceiling	X			X
17.4	Walls	X			X
17.5	Floor	X			X
17.6	Lighting Fixtures, Switches & Receptacles	X			
17.7	Cabinets	X			X
17.8	Over the Ceilling				
17.9	Shower	X			
17.10	WC	X			
17.11	Bath tub			X	
17.12	Window			X	
17.13	Glass Separation	X			X
17.14	Vanity	X			X
17.15	Drain issue	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Observations

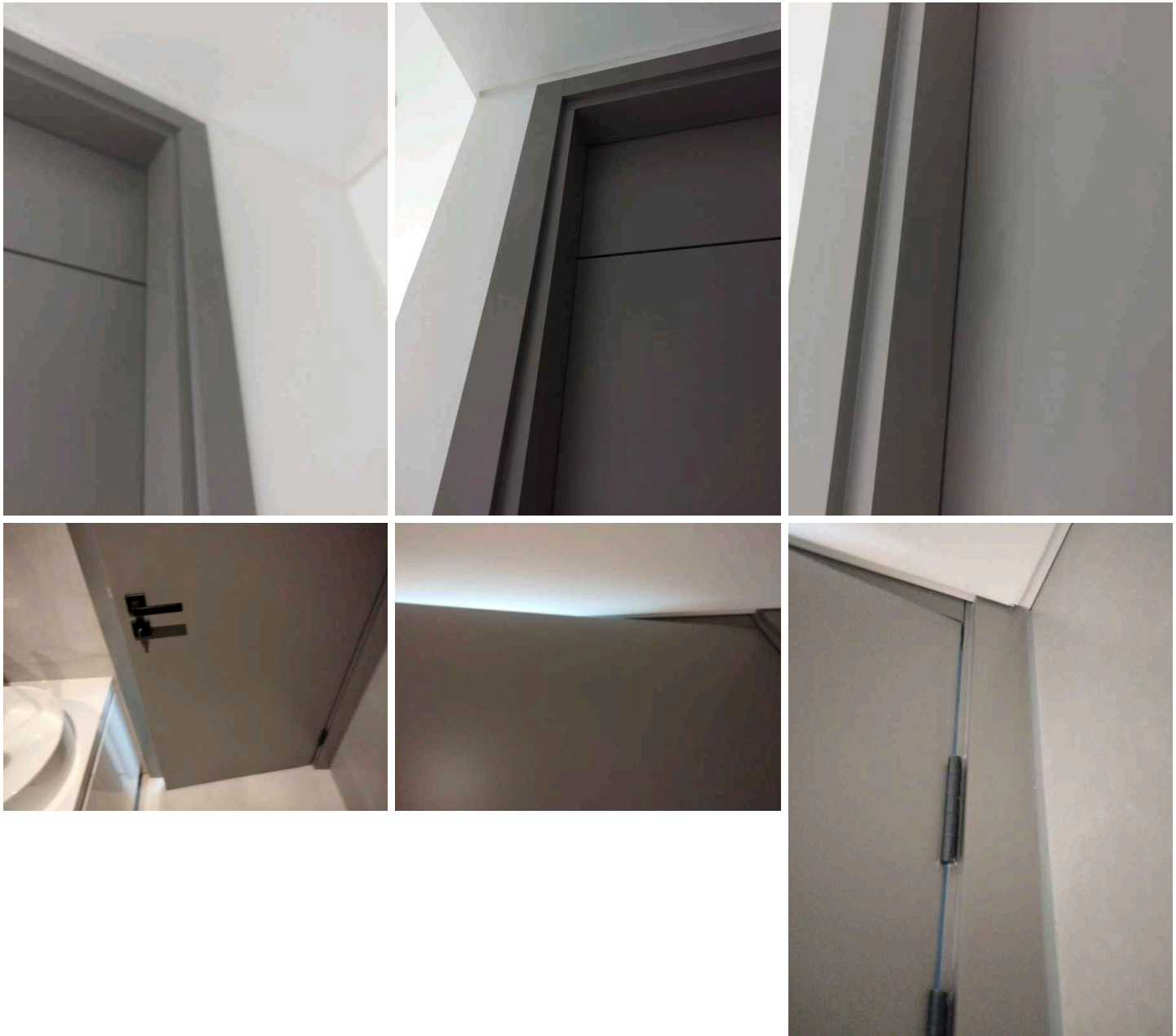
17.2.1 Door

Repair Needed

PAINT FINISHING ISSUE

Paint finishing is unsatisfactory at the affected area. Carry out surface preparation and apply final paint coats to achieve uniform color and proper finish.





17.2.2 Door
CHIPPING ISSUE

 Immediate Action Needed

Chipping observed on the affected surface finish. Repair or replace the damaged area and ensure proper finishing to restore acceptable appearance.

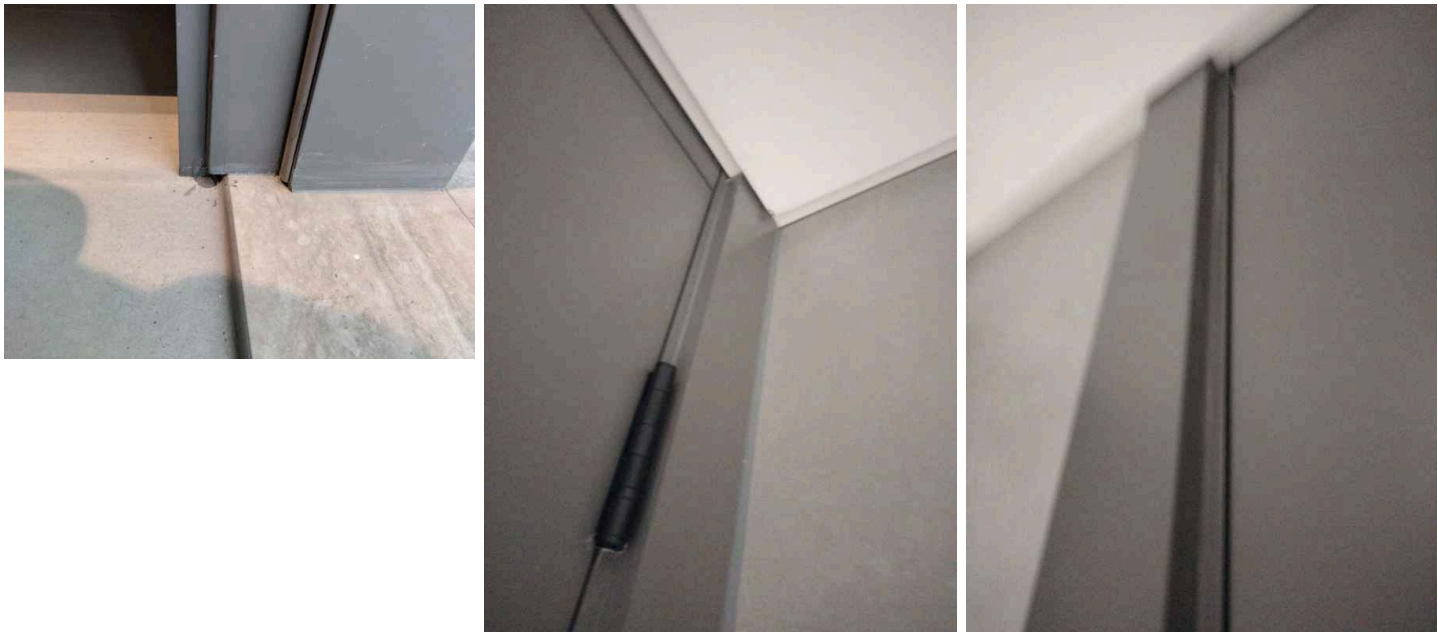


17.2.3 Door

FRAME GAP ISSUE

Repair Needed

There is a visible gap between the frame and adjacent surface, indicating poor installation. This may lead to air and dust infiltration and affects the overall finish. Proper sealing or realignment is required to correct the defect.



17.2.4 Door

HINGES AND EXCESS LUBRICATION ISSUE

Immediate Action Needed

Door hinges issues. Excessive lubrication is present, leading to visible stains and attracting dust. Adjustment and proper cleaning are required for smooth and clean operation.





17.3.1 Ceiling

PAINT TOUCH-UP AND FINISHING ISSUE

Repair Needed

The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. This can affect the overall aesthetic of the room. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.



17.4.1 Walls

GROUT MISSING

Repair Needed

wall areas have missing and incomplete grout between tiles. Creates gaps that affect appearance and may cause water ingress. Requires proper grouting to finish the surface.

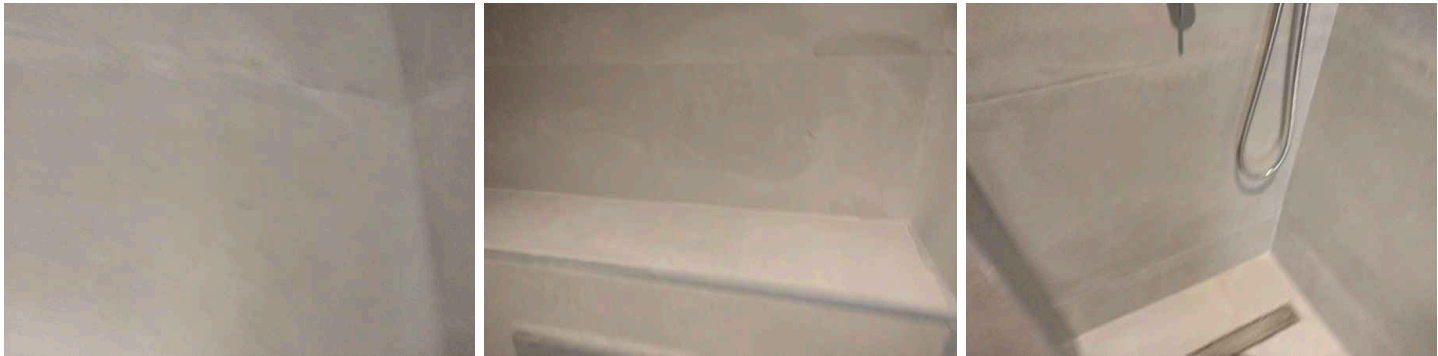


17.4.2 Walls

STAIN ISSUES

Stains observed on surfaces; affected areas to be properly cleaned or treated to restore acceptable appearance.

 Repair Needed

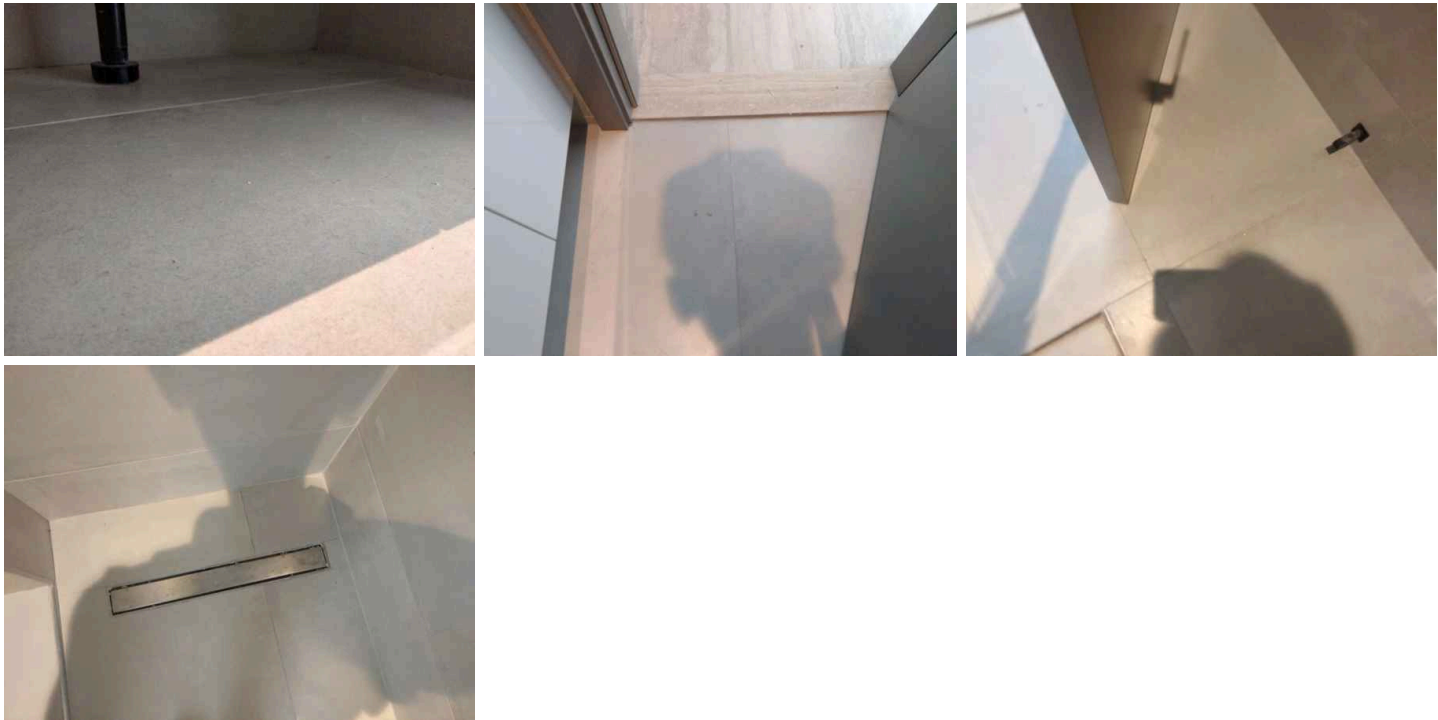


17.5.1 Floor

STAINING ISSUE

Floor shows visible stains affecting appearance and finish. Caused by spills, construction residue and improper cleaning. Requires proper cleaning or treatment to restore uniform look.

 Repair Needed



17.5.2 Floor

GROUTING COLOR VARIATION

Repair Needed

Grout color is inconsistent across the floor, affecting uniformity and appearance. Indicates poor workmanship and improper material mixing. Requires cleaning, correction, or re-grouting for a consistent finish.

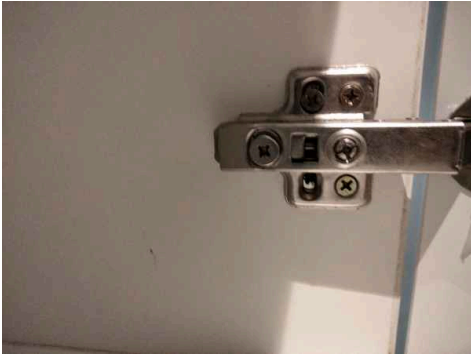


17.7.1 Cabinets

HINGES SCREW MISSING

Immediate Action Needed

Cabinet hinges have missing screws, causing instability and poor functionality. Affects durability and safe operation. Requires proper replacement and tightening of screws.

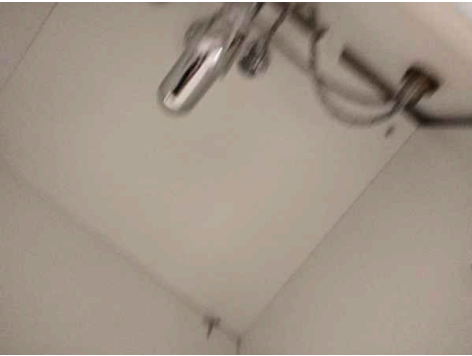
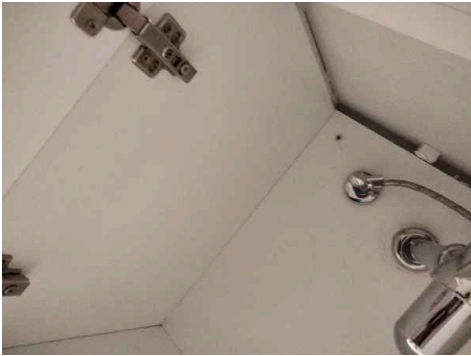


17.7.2 Cabinets

Repair Needed

CLEANING AND FINISHING ISSUES

Cleaning and finishing defects observed; affected areas to be properly cleaned and finishing works rectified to achieve acceptable workmanship.



17.13.1 Glass Separation

Repair Needed

CLEANING REQUIRED

Cleaning and finishing defects observed; affected areas to be properly cleaned and finishing works rectified to achieve acceptable workmanship.



17.14.1 Vanity

WATER STAINS

Repair Needed

Water stains visible on the vanity surface due to poor sealing and leaks around the sink area.



17.14.2 Vanity

POOR FINISHING

Repair Needed

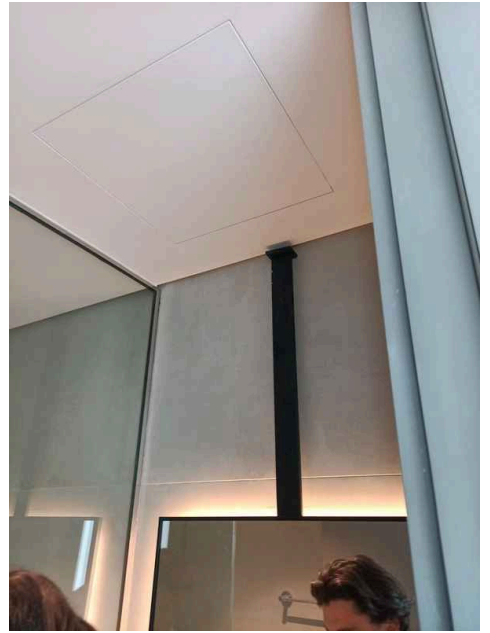
Vanity surfaces show uneven finishing, rough edges and visible defects. Affects appearance and quality. Requires proper sanding, filling, and finishing.



17.14.3 Vanity

PENDING CONNECTION**Repair Needed**

Mirror hanger connection to the ceiling is incomplete; proper fixing and connection to be completed to ensure secure installation and stability.



18: CORRIDOR 3RD FLOOR

		IN	NI	NP	D
18.1	General				
18.2	Door				
18.3	Ceiling	X			
18.4	Walls	X			
18.5	Floor	X			
18.6	Lighting Fixtures, Switches & Receptacles	X			
18.7	Cabinets			X	
18.8	Window	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Observations

18.3.1 Ceiling

Repair Needed

PAINT TOUCH-UP AND FINISHING ISSUE

The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. This can affect the overall aesthetic of the room. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.



18.4.1 Walls

Repair Needed

PAINT TOUCH-UP AND FINISHING ISSUE

The wall shows visible touch-up spots and uneven paint application, resulting in an inconsistent and patchy appearance. Edges and blending are poorly executed. Proper surface preparation and repainting are required for a seamless finish.

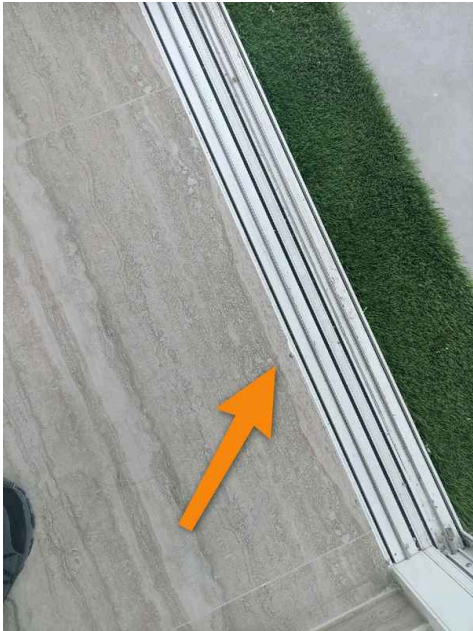


18.5.1 Floor

CHIPPING ISSUE

Repair Needed

Surfaces show signs of chipping and cracking, typically due to impact damage, material weakness, improper installation. These defects compromise both the appearance and structural integrity. Repair or replacement is needed to restore the surface to acceptable standards.



18.8.1 Window

POWDER COATING ISSUES

Repair Needed

Window powder coating is uneven, chipped and peeling. Affects appearance and surface protection. Requires re-coating and touch-up for proper finish.



19: BATHROOM 3RD FLOOR

		IN	NI	NP	D
19.1	General				
19.2	Door	X			
19.3	Ceiling	X			
19.4	Walls	X			
19.5	Floor	X			
19.6	Lighting Fixtures, Switches & Receptacles	X			
19.7	Cabinets			X	
19.8	Over the Ceilling	X			
19.9	Shower	X			
19.10	WC	X			
19.11	Bath tub			X	
19.12	Window	X			
19.13	Glass Separation	X			
19.14	Vanity	X			
19.15	Drain issue	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Observations

19.2.1 Door

PAINT FINISHING ISSUE

Paint finishing is unsatisfactory at the affected area. Carry out surface preparation and apply final paint coats to achieve uniform color and proper finish.

Repair Needed



19.2.2 Door

CHIPPING ISSUE

Repair Needed

Chipping observed on the affected surface finish. Repair or replace the damaged area and ensure proper finishing to restore acceptable appearance.

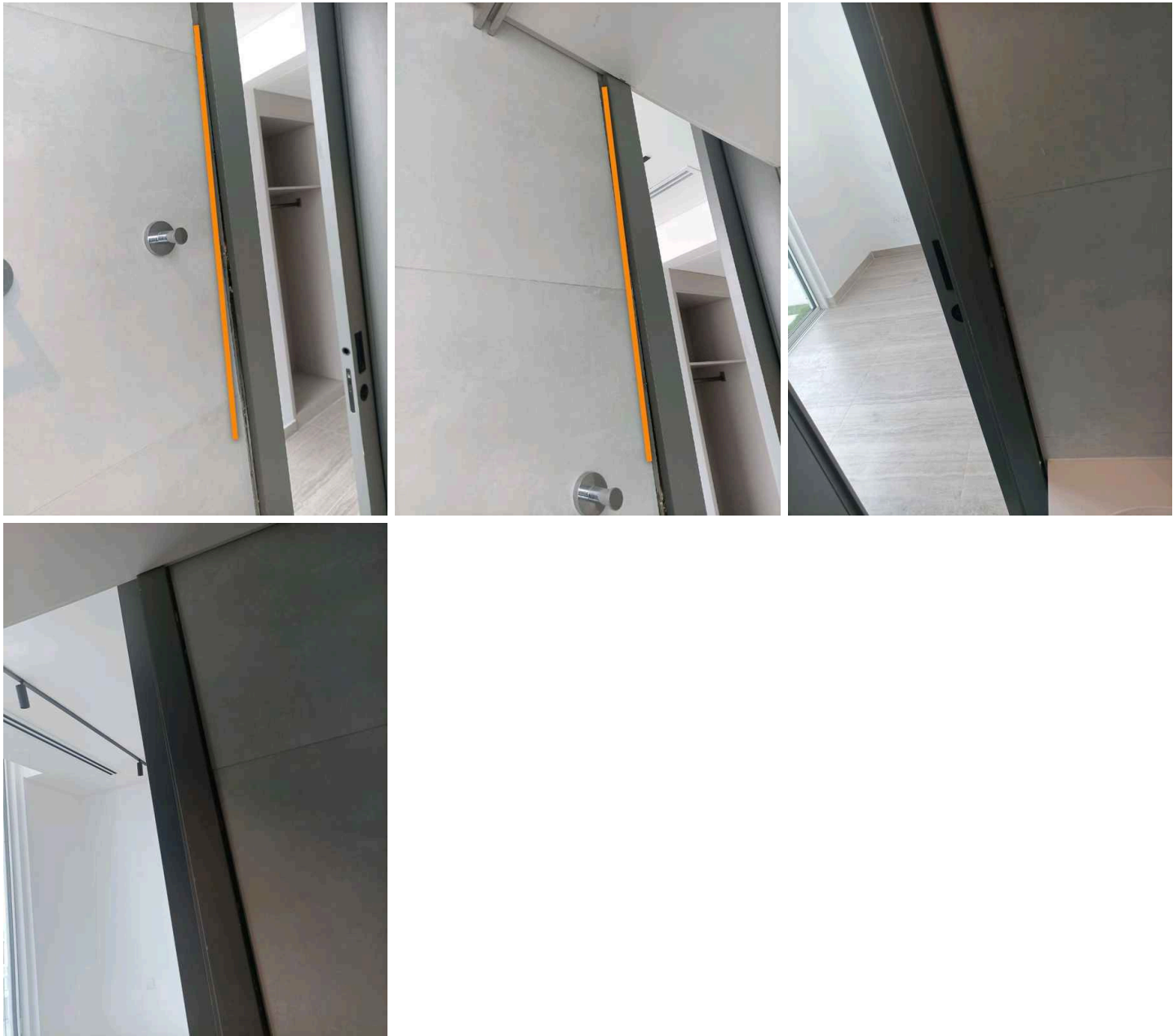


19.2.3 Door

FRAME GAP ISSUE

 Immediate Action Needed

There is a visible gap between the frame and adjacent surface, indicating poor installation. This may lead to air and dust infiltration and affects the overall finish. Proper sealing or realignment is required to correct the defect.

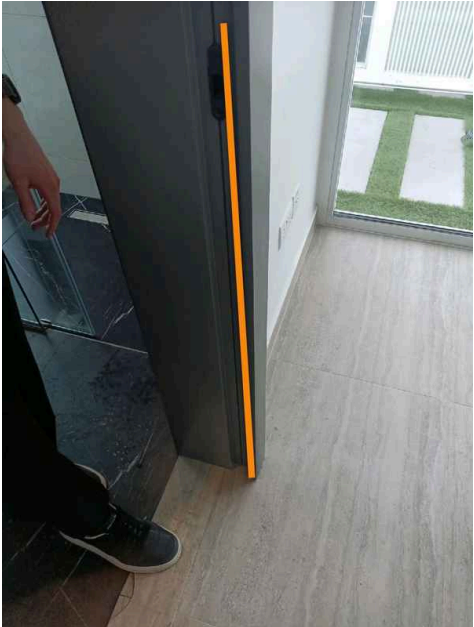


19.2.4 Door

RUBBER SEAL ISSUE

 Immediate Action Needed

The rubber seal is improperly installed, compromising its ability to provide an effective seal. This may result in air, water, or dust infiltration. Replacement or proper adjustment is needed to restore full functionality.



19.3.1 Ceiling

 Repair Needed**PAINT TOUCH-UP AND FINISHING ISSUE**

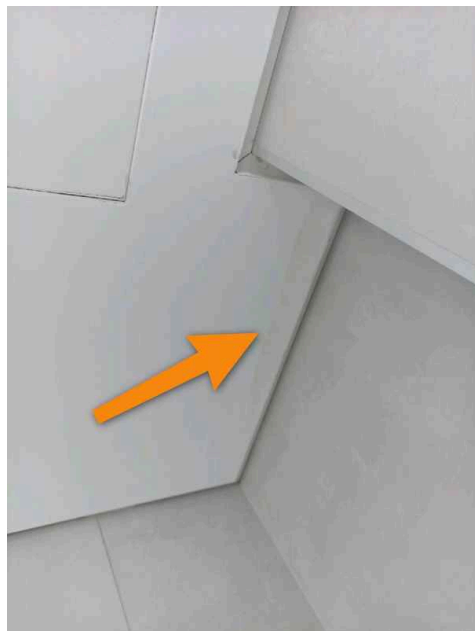
The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. This can affect the overall aesthetic of the room. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.



19.3.2 Ceiling

 Repair Needed**WATER STAINS ISSUE**

Water stains visible on ceiling indicating leakage and moisture ingress. Discoloration affects finish and appearance. Requires rectification to prevent further damage.



19.5.1 Floor

 Repair Needed**UNEVEN TILE LEVEL ISSUE**

Floor tiles are not uniformly leveled, resulting in height variations that create tripping hazards and a poor visual finish. This is often due to improper installation and subfloor irregularities. Reinstallation or leveling correction is needed for a smooth and safe surface.



19.5.2 Floor
TILE CRACKS

 Immediate Action Needed

Cracks observed on tiles due to poor installation. Affects aesthetics and may worsen over time. Requires replacement or proper repair.



19.5.3 Floor
CHIPPING ISSUE

 Repair Needed

Surfaces show signs of chipping and cracking, typically due to impact damage, material weakness, improper installation. These defects compromise both the appearance and structural integrity. Repair or replacement is needed to restore the surface to acceptable standards.



19.7.1 Cabinets

CHIPPING ISSUE

 Repair Needed

Cabinet surfaces show visible chips and damage. Affects appearance and finish quality. Requires repair or replacement of affected areas.



19.8.1 Over the Ceilling

BLOCK WORK NOT COMPLETE

 Repair Needed

Block work is incomplete; remaining works to be completed and properly finished in accordance with approved drawings and specifications.



19.12.1 Window

DEEP CLEANING REQUIRED

Windows have accumulated dirt, dust and construction residue. Affects appearance and clarity. Requires thorough cleaning to restore proper finish.

Repair Needed

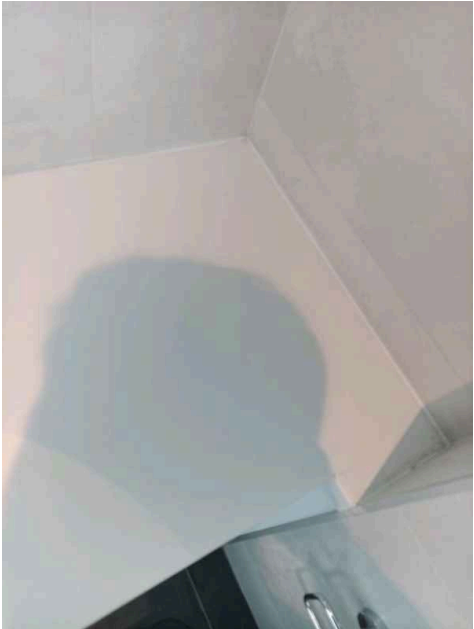


19.14.1 Vanity

POOR FINISHING

Vanity surfaces show uneven finishing, rough edges and visible defects. Affects appearance and quality. Requires proper sanding, filling, and finishing.

Repair Needed



19.14.2 Vanity
FITTING PENDING

 Immediate Action Needed

Cabinet fitting is incomplete; pending fittings to be installed, aligned, and secured to achieve proper functionality and finish.

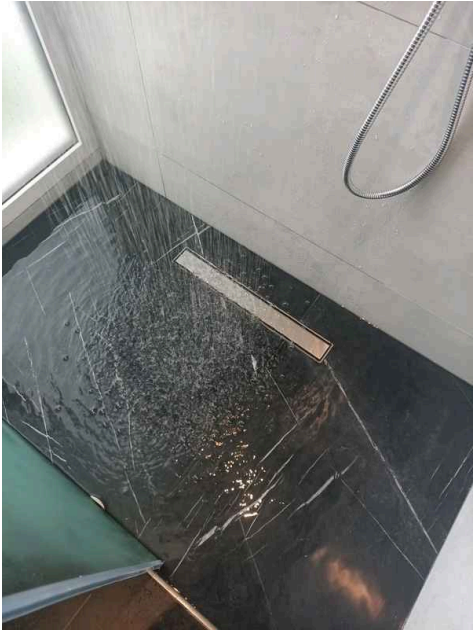


19.15.1 Drain issue

CLOGGING DRAINAGE ISSUES

 Immediate Action Needed

Drainage lines are clogged, causing slow and blocked water flow. Affects functionality and may lead to overflow. Requires cleaning and proper maintenance.



20: BEDROOM 3RD FLOOR

		IN	NI	NP	D
20.1	General				
20.2	Door	X			
20.3	Ceiling	X			
20.4	Walls	X			
20.5	Floor	X			
20.6	Lighting Fixtures, Switches & Receptacles	X			
20.7	Cabinets	X			
20.8	Window	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Observations

20.2.1 Door

PAINT FINISHING ISSUE

Repair Needed

Paint finishing is unsatisfactory at the affected area. Carry out surface preparation and apply final paint coats to achieve uniform color and proper finish.



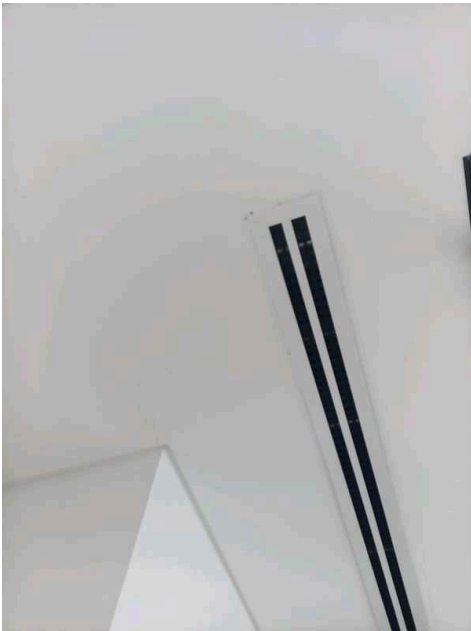


20.3.1 Ceiling

PAINT TOUCH-UP AND FINISHING ISSUE

 Repair Needed

The ceiling has visible touch-up marks and uneven paint application, leading to a patchy and inconsistent finish. This can affect the overall aesthetic of the room. Proper surface preparation, touch-up, and even repainting are required for a smooth and uniform ceiling finish.



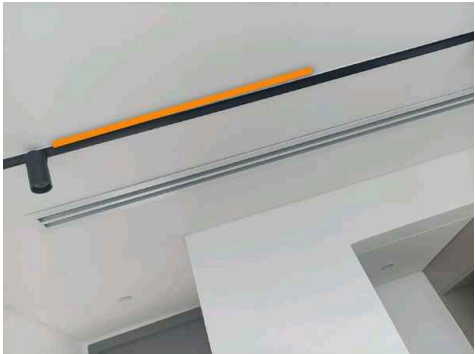


20.3.2 Ceiling

GAPS AT GRILL

Gaps observed around the grill installation; sealing and alignment to be corrected to ensure proper fit and finished appearance.

 Repair Needed

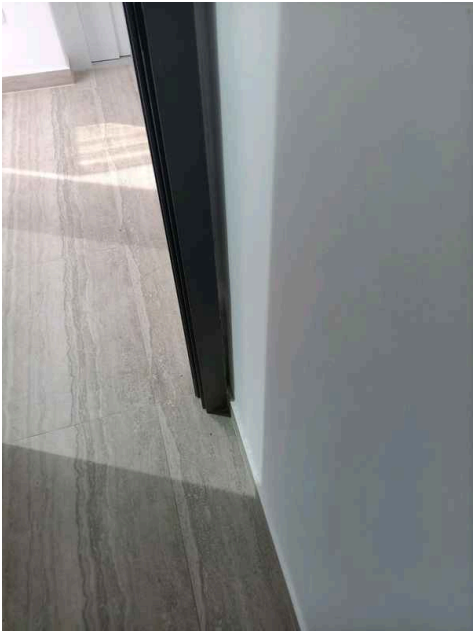
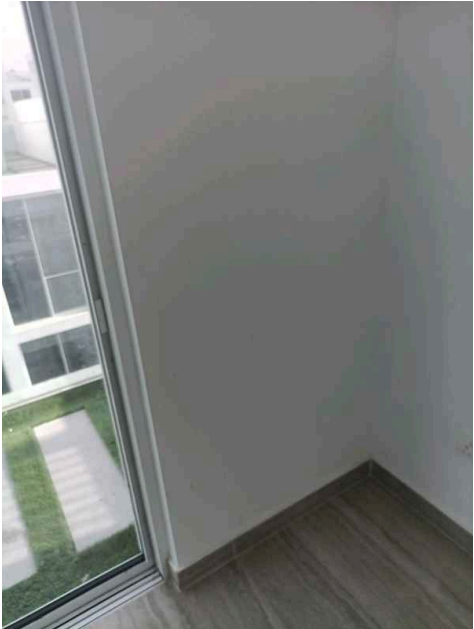


20.4.1 Walls

PAINT TOUCH-UP AND FINISHING ISSUE

The wall shows visible touch-up spots and uneven paint application, resulting in an inconsistent and patchy appearance. Edges and blending are poorly executed. Proper surface preparation and repainting are required for a seamless finish.

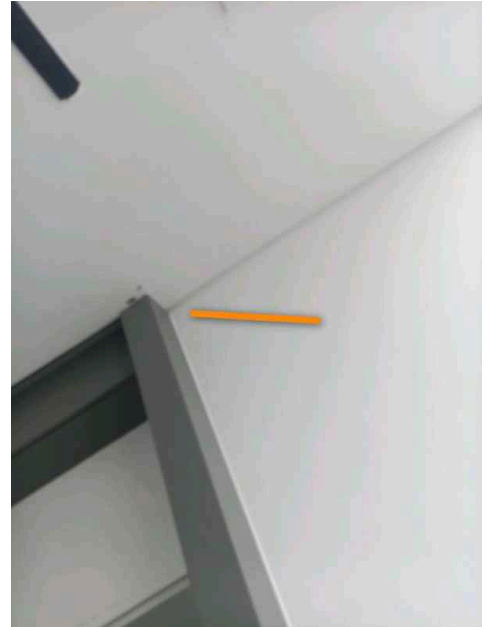
 Repair Needed



20.4.2 Walls

CRACK ISSUE**Immediate Action Needed**

Cracks in the paint are visible on the wall, caused by substrate movement, improper application and environmental factors like humidity. This results in an unsightly finish and potential for further damage. Repainting and crack filling are needed to restore a smooth, durable surface.



20.5.1 Floor

GROUT MISSING**Repair Needed**

Floor areas have missing and incomplete grout between tiles. Creates gaps that affect appearance and may cause water ingress. Requires proper grouting to finish the surface.



20.5.2 Floor

STAINING ISSUE**Repair Needed**

Floor shows visible stains affecting appearance and finish. Caused by spills, construction residue and improper cleaning. Requires proper cleaning or treatment to restore uniform look.



20.6.1 Lighting Fixtures, Switches & Receptacles

LIGHTS MALFUNCTION

Ceiling lights are not functioning properly. Indicates electrical and fixture issues. Requires replace and repair to restore proper operation.

 Immediate Action Needed



20.7.1 Cabinets

CHIPPING ISSUE

Cabinet surfaces show visible chips and damage. Affects appearance and finish quality. Requires repair or replacement of affected areas.

 Repair Needed



20.8.1 Window

POWDER COATING ISSUES

 Repair Needed

Window powder coating is uneven, chipped and peeling. Affects appearance and surface protection. Requires re-coating and touch-up for proper finish.



21: HVAC

		IN	NI	NP	D
21.1	Air Conditioner	X			
21.2	Water Heater	X			
21.3	Over the Ceiling	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Observations

21.1.1 Air Conditioner

IMPROPER COOLING

Cooling system is not functioning efficiently, resulting in insufficient temperature control. Affects comfort and performance. Requires immediate corrective action.

 Immediate Action Needed



21.3.1 Over the Ceiling

IMPROPER INSULATION

Lack of and damaged insulation leading to temperature loss and reduced energy efficiency as well create moisture issue.

 Repair Needed



21.3.2 Over the Ceiling

WIRE MANAGEMENT ISSUES

Unorganized exposed electrical wiring, posing safety hazards and maintenance difficulties.

 Repair Needed



22: LIFT

		IN	NI	NP	D
22.1	Finishing issue	X			

IN = InspectedNI = Not InspectedNP = Not PresentD = Deficiency

Observations

22.1.1 Finishing issue

SCRATCHES, FINISHING AND LIGHTING COVER FITTING ISSUE

Repair Needed

Scratches and finishing defects observed, and lighting cover is improperly fitted; rectification and proper fitting to be carried out to achieve acceptable finish and functionality.

